

Community Foundation Campus
Request for Proposal
4 Suite Buildout - Contractor

This RFP is for a contractor to complete the build out 4 vacant suites to vanilla shell including: finishing existing demising walls, ceiling tiles, HVAC ductwork and diffusers, electrical for LED lighting and receptacles/power outlets per code. Contractor will complete the job as specified by the Architect, Larry Click and Associates.

RFP Sent: January 20, 2021

Responses Due: February 3, 2021

Please send any questions and completed proposals to Chelsey Johnson, Member Services Coordinator, at cjohnson@cfcampus.org.

COMMUNITY FOUNDATION CAMPUS OVERVIEW

Community Foundation Campus LLC (Campus), an Arizona Limited Liability Company, is looking for a contractor to build out 4 vacant suites to vanilla shell, according to Larry Click and Associates specifications, on our property at 5049 E Broadway Blvd (Suites 115, 117, 127, 137).

The Community Foundation Campus is a nonprofit hub with offices, event space, and conference rooms for our nonprofit community. The main building (A) houses the Community Foundation for Southern Arizona and up to twelve other nonprofit organizations inside. The two out-lying buildings (B & C) on Campus are approximately 4,500 square feet each. Buildings B and C each have four adjacent office suites that range from 1,088-1,120 square feet. There are currently nonprofit tenants in four of the eight suites in our out-lying buildings, specifically suites 105, 107, 125, and 135.

The build out of our remaining four vacant suites will allow us to offer turn-key office spaces to nonprofit organizations. The organizations that rent our offices will not only have class A space, but they will become a part of a greater network of nonprofit professionals that collaborate and share resources within our community on Campus.

CONSTRUCTION REQUIREMENTS

Please find architectural plans and specifications in *Exhibit A*.

PROPOSAL REQUIREMENTS

1. Provide the following information:

- a. Name of firm
- b. Complete address
- c. Contact person
- d. Telephone number
- e. Fax number
- f. Internet address
- g. E-mail address

2. Provide an itemized bid based on the architectural drawings and specifications provided by the Architect, Larry Click and Associates. The bid shall include:

Direct Costs:

- Demolition
- HVAC
- Electrical
- Lighting fixtures
- Drywall, tape & texture
- Painting
- Drop ceiling
- Flooring

Indirect Costs:

- Supervision/project management
- General Labor & Clean-up
- Trash Haul-off
- Contractor Overhead

General & Administrative:

- Overhead
- Profit
- Contracting Transaction Privilege Tax

3. Provide proof of professional and general liability insurance.

4. List the steps in your standard change order procedure.

QUALIFICATIONS

GOOD STANDING: Your firm must comply with Federal, State, County and local units of government law; which specifically includes good tax payment status and good corporate registration status. Please provide your firms legal corporate name, Tax ID number, and Registrar of Contractors ID number as reflected by the State of Arizona.

DIVERSITY: Preference is given to vendors with a proven record of a commitment to diversity and inclusion as a practice. Please include your company diversity/inclusion statement.

RFP & PROJECT TIMELINE DETAILS

Full project timeline details can be found in Exhibit B.

SELECTION CRITERIA

Selection of an agent/firm will be made based on the following criteria:

- a. Ability of the contractor(s) to meet or exceed the requirements defined in the RFP
- b. Experience, qualifications, and references
- c. Regional reputation and local presence/experience
- d. Understanding of working with nonprofits and the 501c3 requirements
- e. Fee Schedule

ORAL PRESENTATIONS AND INTERVIEWS

Firms submitting a proposal in response to this RFP may be asked to give an oral presentation of their proposal. Additional technical and/or cost information may be requested for clarification purposes, but in no way change the original proposal submitted. Interviews may or may not be conducted.

TERM OF CONTRACT

The contract period for the successful agent/firm will be until the build out of all four suites is complete and all necessary permits have been received.

EVALUATION AND AWARD PROCESS

Issuance of this RFP and receipt of proposals does not commit the Campus to award a contract. Campus reserves the right to postpone receipt date, accepting or rejecting any or all proposals received in response to this RFP, or to negotiate with any of the agent/firms submitting an RFP, or to cancel all or part of this RFP.

GENERAL INSTRUCTIONS

The proposal must be submitted to the Community Foundation Campus building, 5049 E Broadway Blvd STE 201 or emailed to Chelsey Johnson at cjohnson@cfcampus.org by 3:00pm on February 3, 2021.

A Selection Committee will review the proposals and develop a list of finalists to interview. The Applicants are responsible for ensuring that their proposal is received on time.

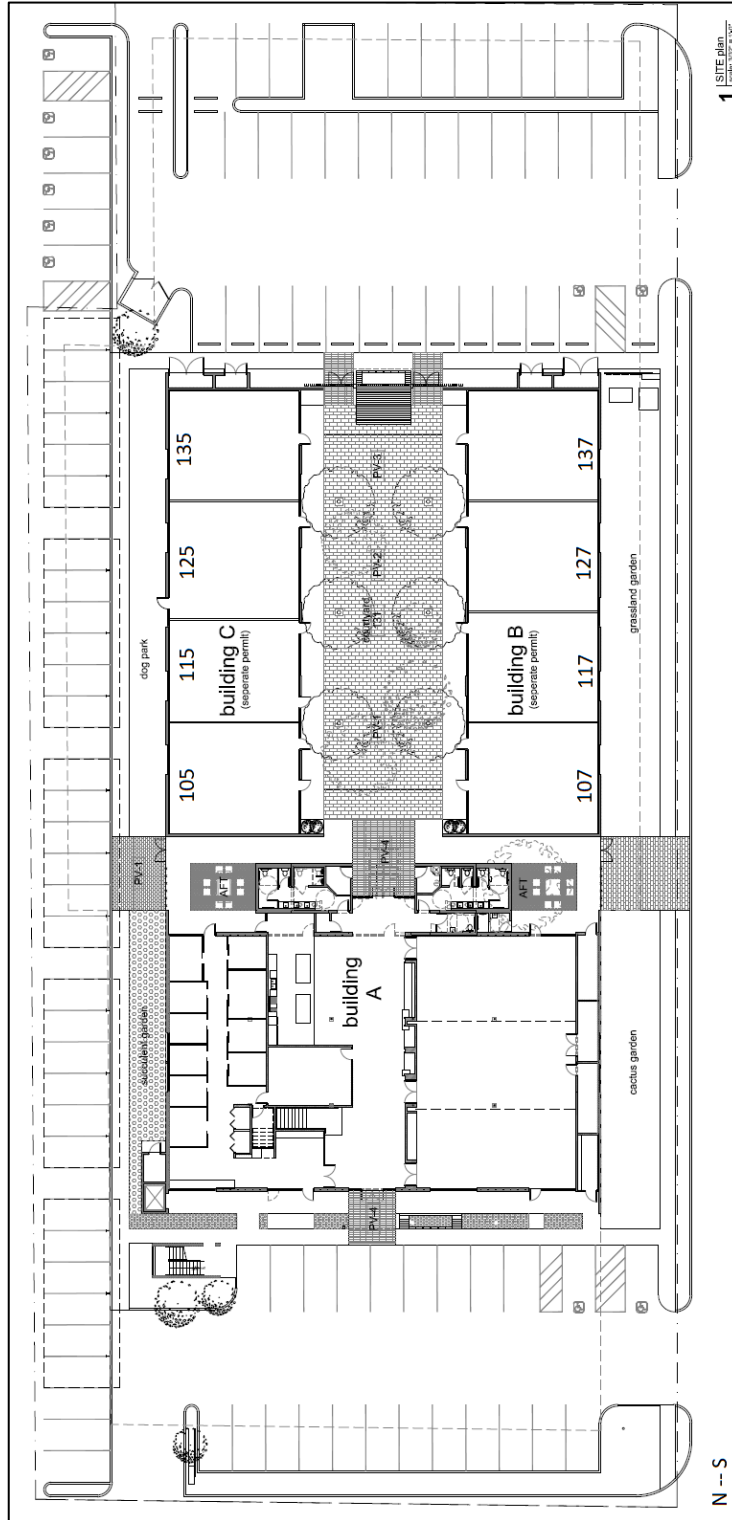
To be considered, firms must submit a complete response to the RFP in the form requested. Firms not responding to items requested in the RFP or indicating exceptions to such items may have their submittals rejected.

The Community Foundation Campus reserves the right to reject any proposal, or any parts thereof, or to waive any informality or defect in any bid if it is in its best interest. All proposals, plans, and other documents submitted will become the property of the Community Foundation Campus.

Applicants are responsible for their own expense in preparing, delivering or presenting a proposal, and for subsequent negotiations with the Community Foundation Campus, if any.

All questions may be directed to the following contact person: Chelsey Johnson at cjohnson@cfcampus.org or 520-770-7898.

EXHIBIT A (Campus Floorplans + Architect Specifications)



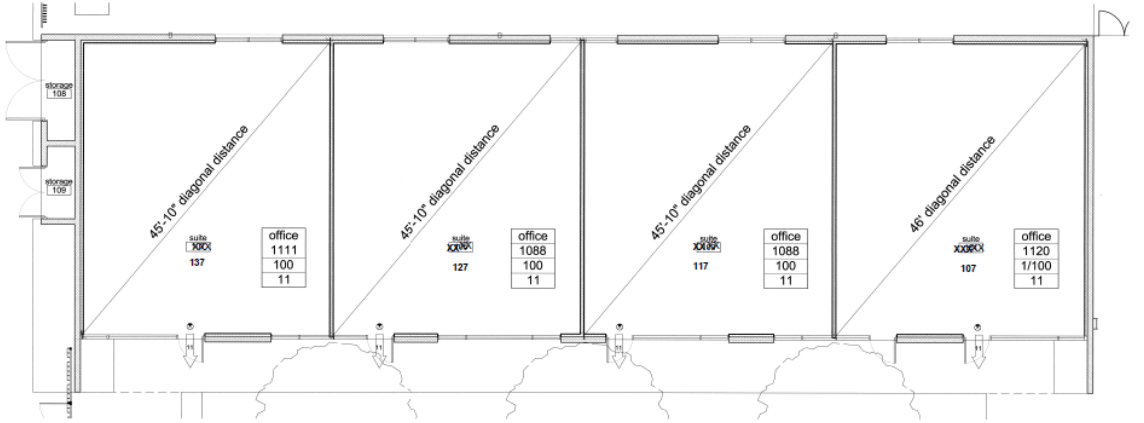


- area of staged apartment design shall be maintained on site and made available to city inspection on demand.
- provide a copy of the fire separation design to the fire department for review.
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Legend:

- 1 for rated fire separation (horizontal)
- direction of egress - occupant load @ egress component
- function of space/occupancy
- occupant load
- number of occupants
- exit sign (directional where indicated)

WEST Bldg



1 EXITING plan

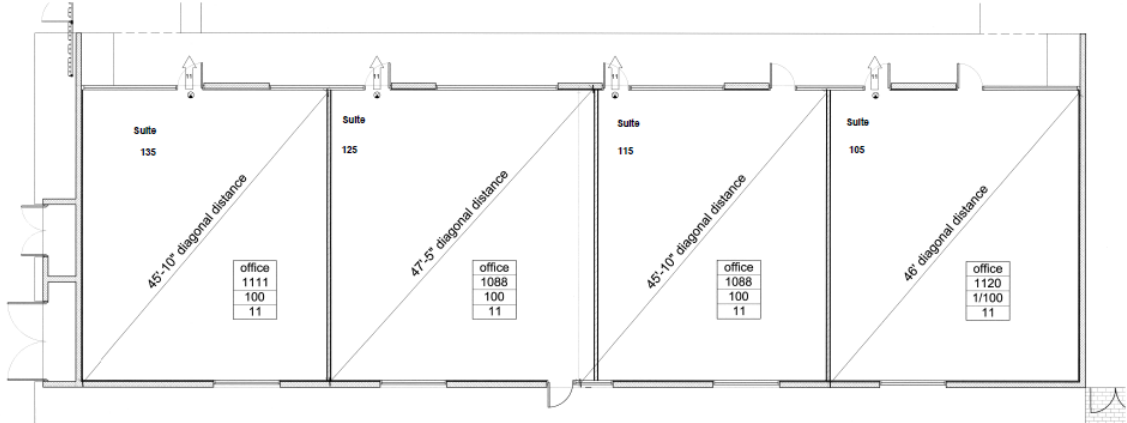


EAST Bldg

- See approved code for the number of the hydrants installed and capacity prior to the building inspection. Hydrants shall be spaced at a maximum spacing of 1000 feet. The developer shall make the C.O.C. approved and water plan available to the fire separator.
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Legend:

- 1 for rated fire separation (horizontal)
- direction of egress - occupant load @ egress component
- function of space/occupancy
- occupant load
- number of occupants
- exit sign (directional where indicated)



LANDLORD TENANT IMPROVEMENTS for COMMUNITY FOUNDATION CAMPUS 5049 E. BROADWAY BLVD. TUCSON, ARIZONA 85711

CODE REVIEW CHECKLIST

DESIGN PER 2018 IBC

1. Occupancy - Group "B" OFFICE
2. Type of Construction VB
 - a. Fire protection provided for:

1. Walls	_____ hrs.	2. Columns	_____ hrs.
3. Beams	_____ hrs.	4. Floors	_____ hrs.
6. Partitions	_____ hrs.	7. Vert Shafts	_____ hrs.
5. Roof	_____ hrs.		
 - b. Check if required:

Automatic Sprinklers	<u>N/A</u>	Dry standpipes	<u>provided</u>	Wet standpipes	_____
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 - c. Flammable Ratings of Materials and Finishes

Vertical Exits	<u>C-20</u>	Horizontal Exits	<u>26-15</u>
Other spaces	<u>T6-200</u>		
3. Area:

a. Actual	<u>VARIES</u>	Number of Stories	<u>1</u>
Height to roof line	<u>EXISTING</u>	Parapet	<u>EXISTING</u>
b. Allowable area: Basic	<u>EXISTING</u>	Allowable Increases	<u>EXISTING</u>
4. Occupant Loads:

SPACE 117	1035 sq ft ÷	150=	7 OCCUPANTS
SPACE 121	1033 sq ft ÷	150=	7 OCCUPANTS
SPACE 137	1023 sq ft ÷	150=	7 OCCUPANTS
SPACE 115	952 sq ft ÷	150=	7 OCCUPANTS

 - a. Number of exits & exit widths required:

Total	<u>1</u>	EACH SPACE 7 OCCUPANTS 1 EXIT REQUIRED MIN. 1 PROVIDED
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 - b. Exit signs - lighted PROVIDED
 - c. Corridor protection N/A
 - d. Panic hardware N/A
5. Parking requirements:

a. Parking requirements	<u>NO CHANGE OF USE</u>	Disabled parking	<u>EXISTING</u>
b. Landscaping requirements	<u>EXISTING</u>		
6. Check Fire Code Requirements N/A

SHEET INDEX

- T1.0 TITLE SHEET/ LOCATION MAP
- A1.0 ARCHITECTURAL FLOOR PLAN & SCHEDULES
- A2.0 REFLECTED CEILING PLAN & SPECIFICATIONS
- M1.0 MECHANICAL PLAN
- M1.1 MECHANICAL NOTES, DETAILS & SCHEDULES
- E1.0 ELECTRICAL POWER PLAN & PANEL SCHEDULE (117, 127&137)
- E1.1 ELECTRICAL LIGHTING PLAN, NOTES & SCHEDULES (117,127&137)
- E2.0 ELECTRICAL POWER PLAN & PANEL SCHEDULE (115)
- E2.1 ELECTRICAL LIGHTING PLAN & SCHEDULES (115) ELECTRICAL NOTES

APPLICABLE CODES ADOPTED

& WITH LOCAL AMENDMENTS

BY TOWN OF SAHUARITA

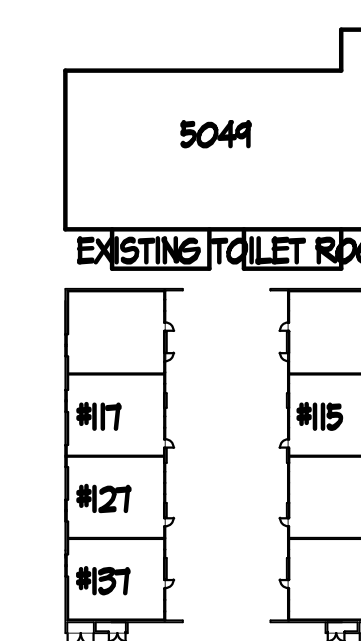
- 2018 IBC
- 2018 IFC
- 2018 IMC
- 2018 IPC
- 2018 IFCC
- 2017 NEC
- 2018 IECC

SPECIAL INSPECTIONS

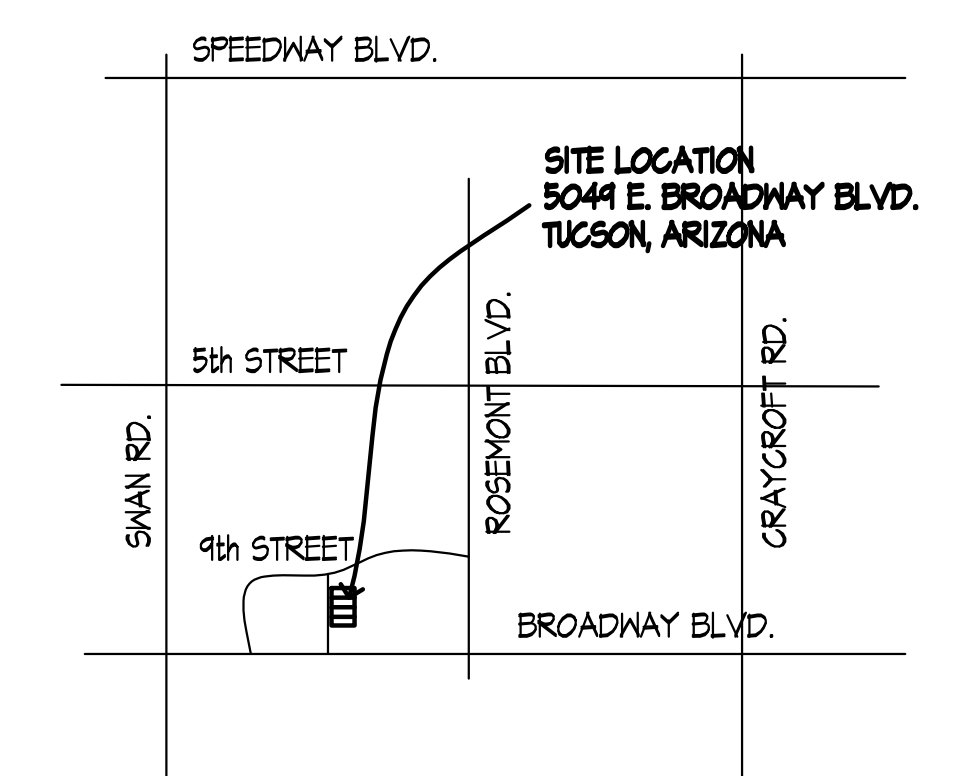
NONE

DEFERRED SUBMITTALS

NONE



PROJECT LOCATION
SCALE: NTS

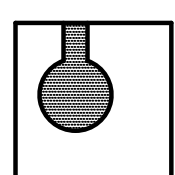


SITE LOCATION
SCALE: NTS

LANDLORD TENANT IMPROVEMENTS for
 COMMUNITY FOUNDATION CAMPUS
 5049 E. BROADWAY BLVD.
 TUCSON, ARIZONA 85711

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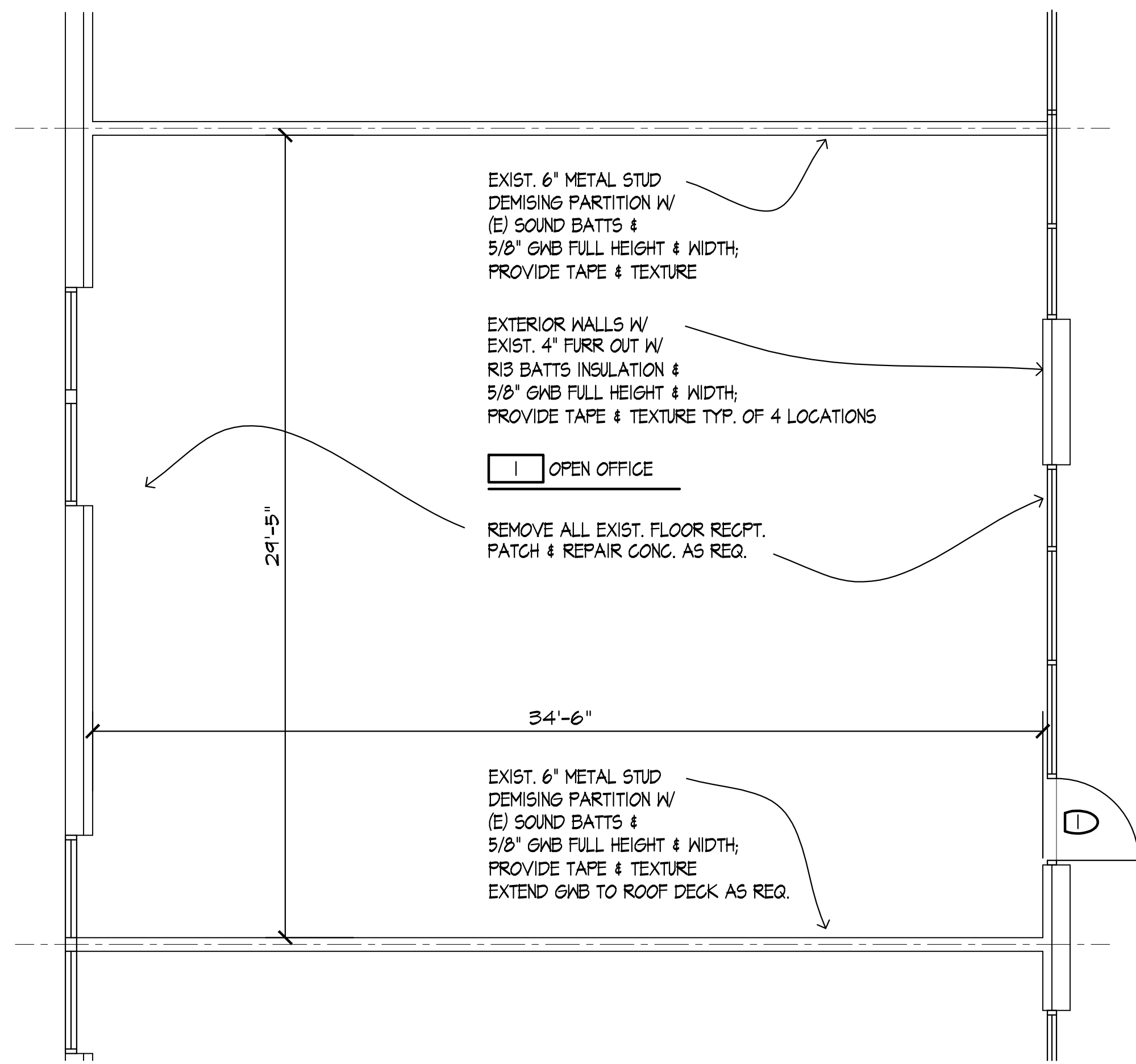
LARRY J. CLICK & ASSOCIATES
 ARCHITECTS
 6801 E. Grant Road, Suite # 120
 Tucson, Arizona 85715
 (520) 527-6670 larryjclick@aol.com



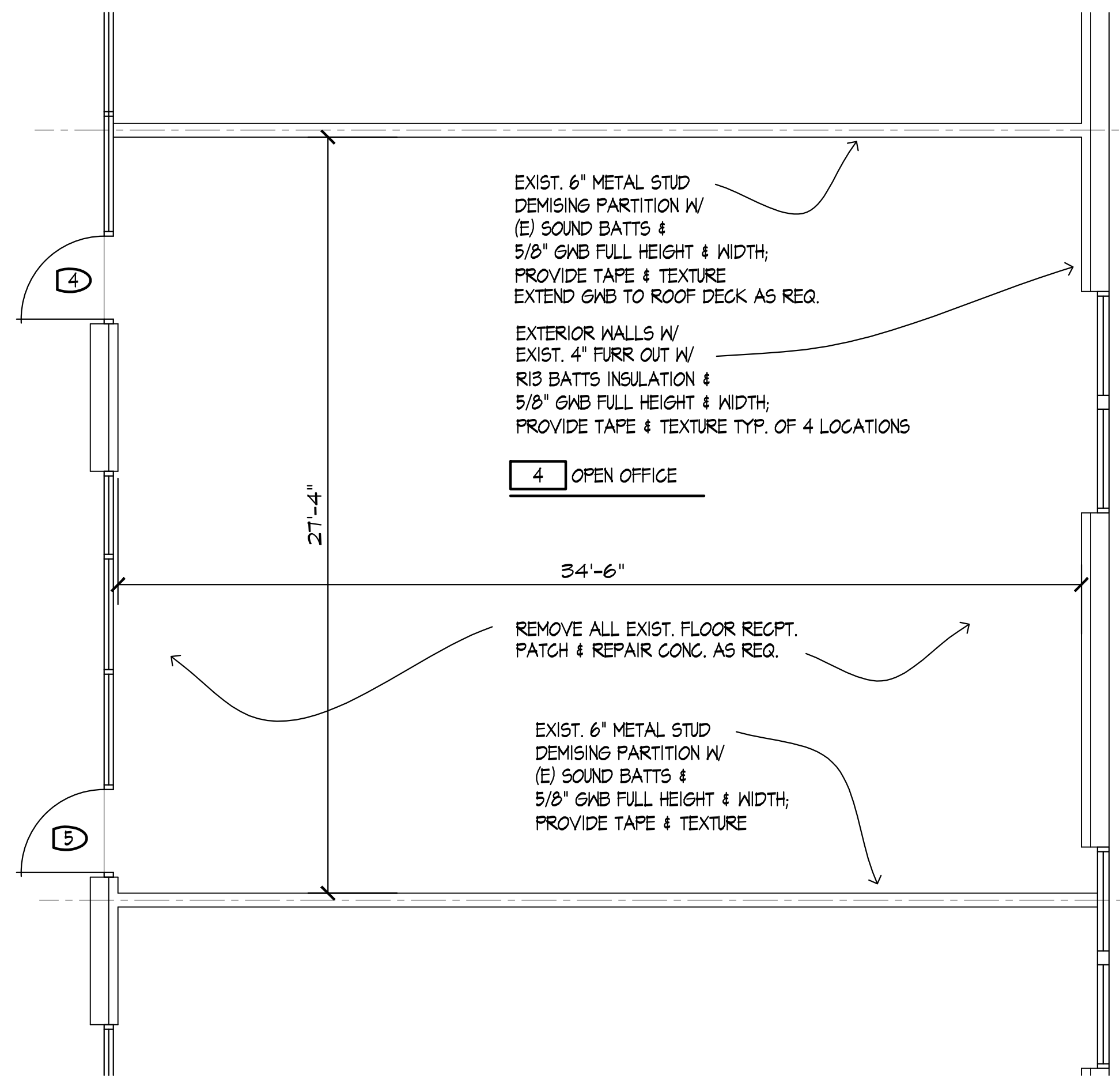
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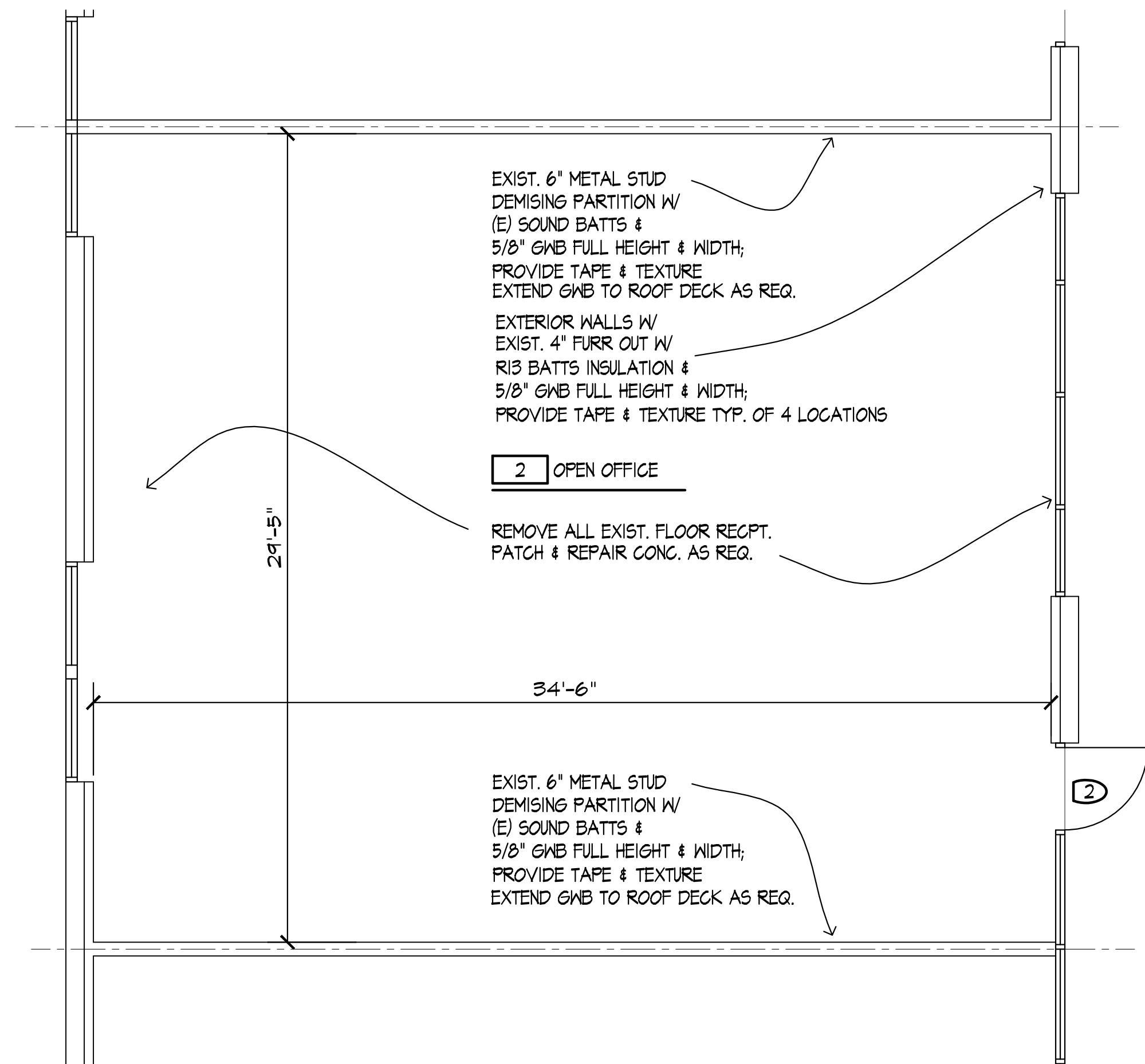
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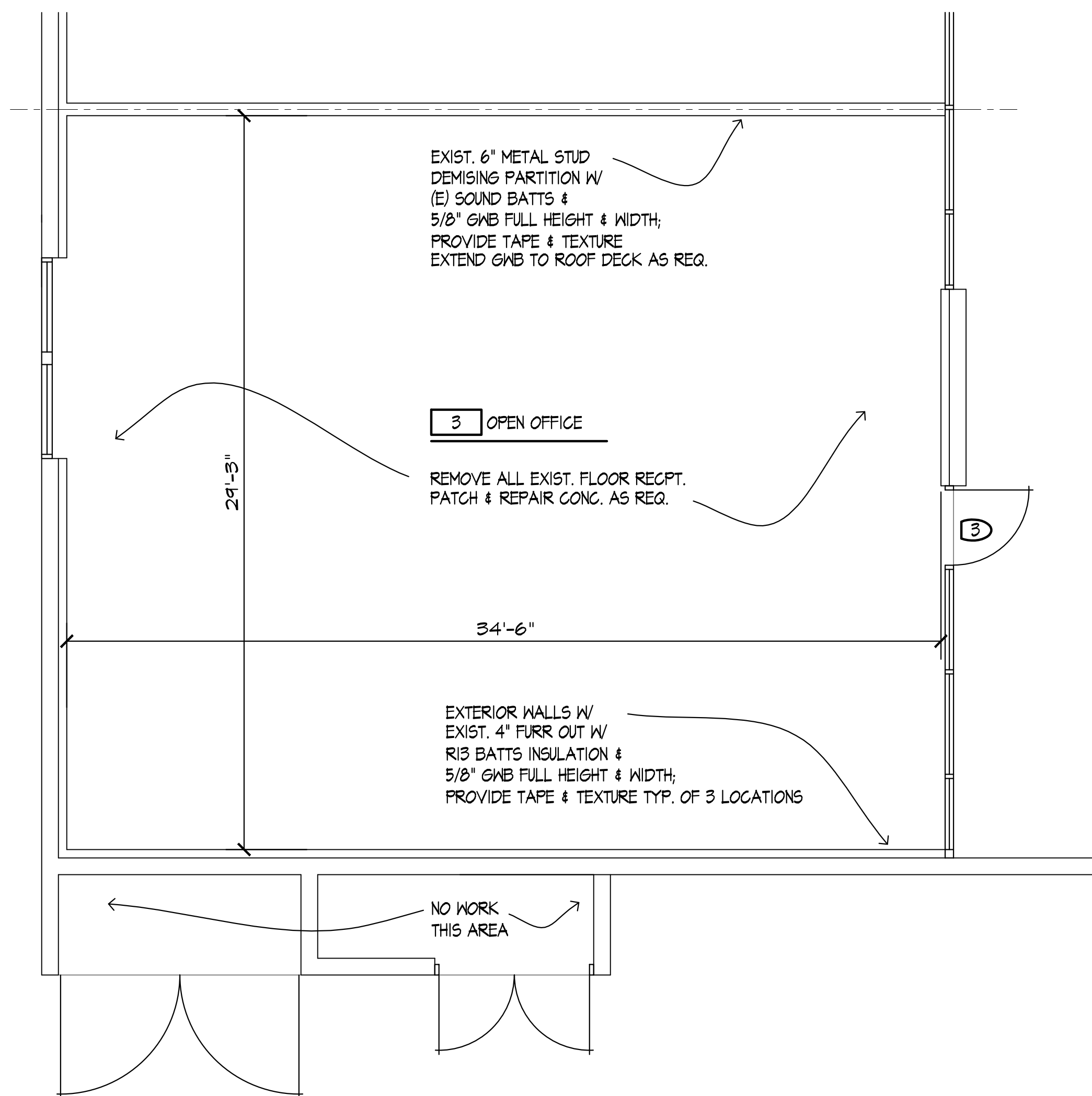
FLOOR PLAN SPACE 117
SCALE: 1/4"= 1'-0"



FLOOR PLAN SPACE 115
SCALE: 1/4"= 1'-0"



FLOOR PLAN SPACE 127
SCALE: 1/4"= 1'-0"



FLOOR PLAN SPACE 137
SCALE: 1/4"= 1'-0"

ROOM FINISH SCHEDULE										
NO.	NAME	FLOOR	BASE	WALLS				CEILING		REMARKS
				N	E	S	W	FIN.	HGT.	
1	OPEN OFFICE	STAINED CONC.	4" RUBBER	GWB	GWB	GWB	GWB	A.T.	8'-0"	ALL GWB PAINTED
2	OPEN OFFICE	VINYL TILE	4" RUBBER	GWB	GWB	GWB	GWB	A.T.	8'-0"	ALL GWB PAINTED
3	OPEN OFFICE	VINYL TILE	4" RUBBER	GWB	GWB	GWB	GWB	A.T.	8'-0"	ALL GWB PAINTED
4	OPEN OFFICE	VINYL TILE	4" RUBBER	GWB	GWB	GWB	GWB	A.T.	8'-0"	ALL GWB PAINTED

DOOR SCHEDULE (FOR REFERENCE ONLY)							
NO.	SIZE	TYPE	MAT.	FRAME MAT.	FIN	HW#	REMARKS
1	3'-0"x 7'-0"x 1 3/4"	STORE FRONT	ALUM. GLASS	ALUM.	FACTORY	HW#1	EXISTING DOOR
2	3'-0"x 7'-0"x 1 3/4"	STORE FRONT	ALUM. GLASS	ALUM.	FACTORY	HW#1	EXISTING DOOR
3	3'-0"x 7'-0"x 1 3/4"	STORE FRONT	ALUM. GLASS	ALUM.	FACTORY	HW#1	EXISTING DOOR
4	3'-0"x 7'-0"x 1 3/4"	STORE FRONT	ALUM. GLASS	ALUM.	FACTORY	HW#1	EXISTING DOOR
5	3'-0"x 7'-0"x 1 3/4"	STORE FRONT	ALUM. GLASS	ALUM.	FACTORY	HW#1	EXISTING DOOR

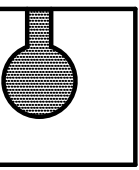
HARDWARE SCHEDULE
ALL DOOR HARDWARE TO COMPLY W/
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

- HW#1- EXISTING AS NOTED
- 1 1/2 PR BUTTS (E)
- 1 EA LOCKSET (E)
- 1 EA CLOSER (E)
- 1 SET THRESHOLD/WEATHER STRIP (E)
- 1 SET PUSH/FULL (E)

LANDLORD TENANT IMPROVEMENTS for
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LARRY J. CLICK & ASSOCIATES
ARCHITECTS
6801 E. Grant Road, Suite # 120
Tucson, Arizona 85715
(520) 321-6670
larryjclick@aol.com

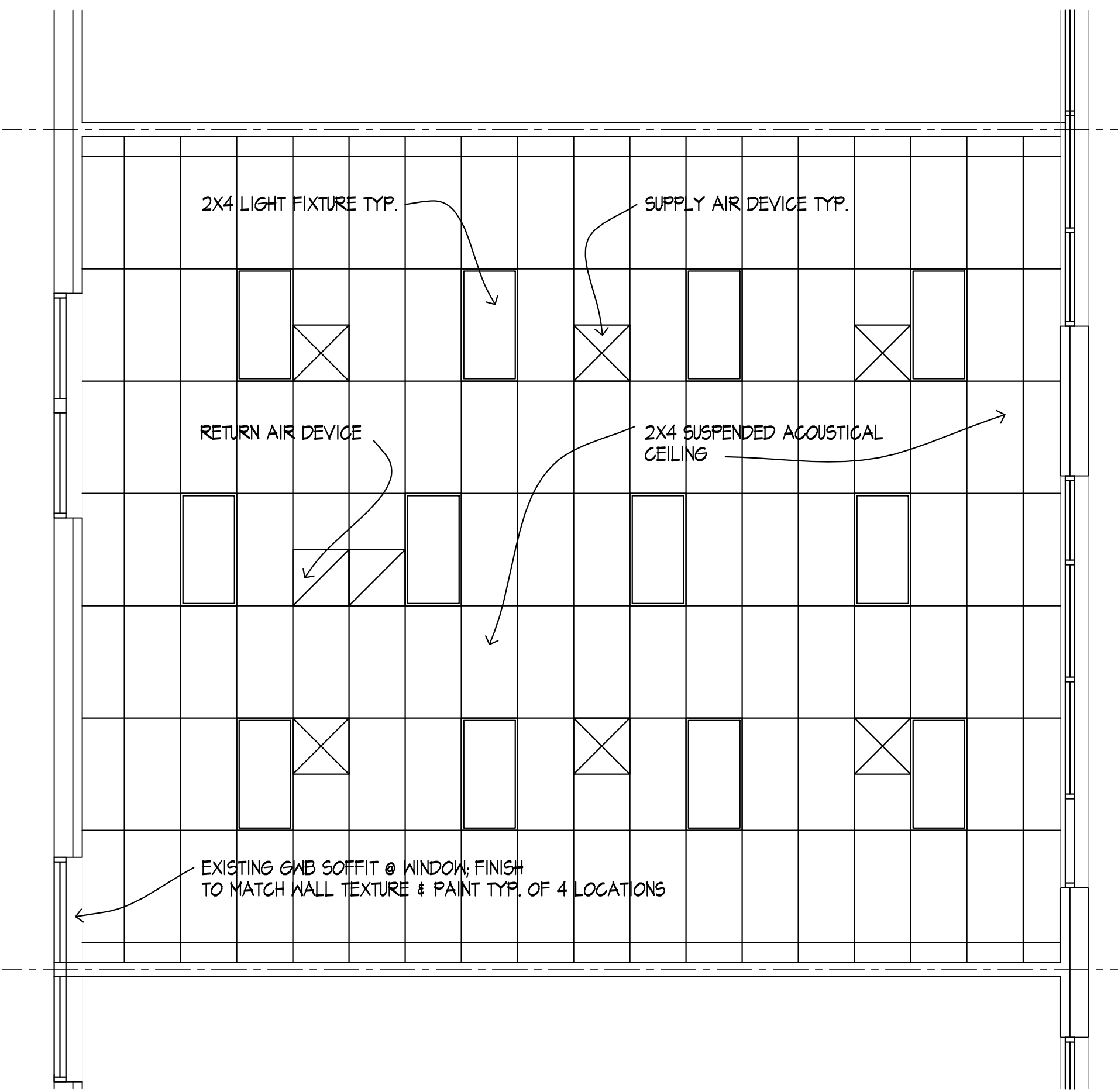


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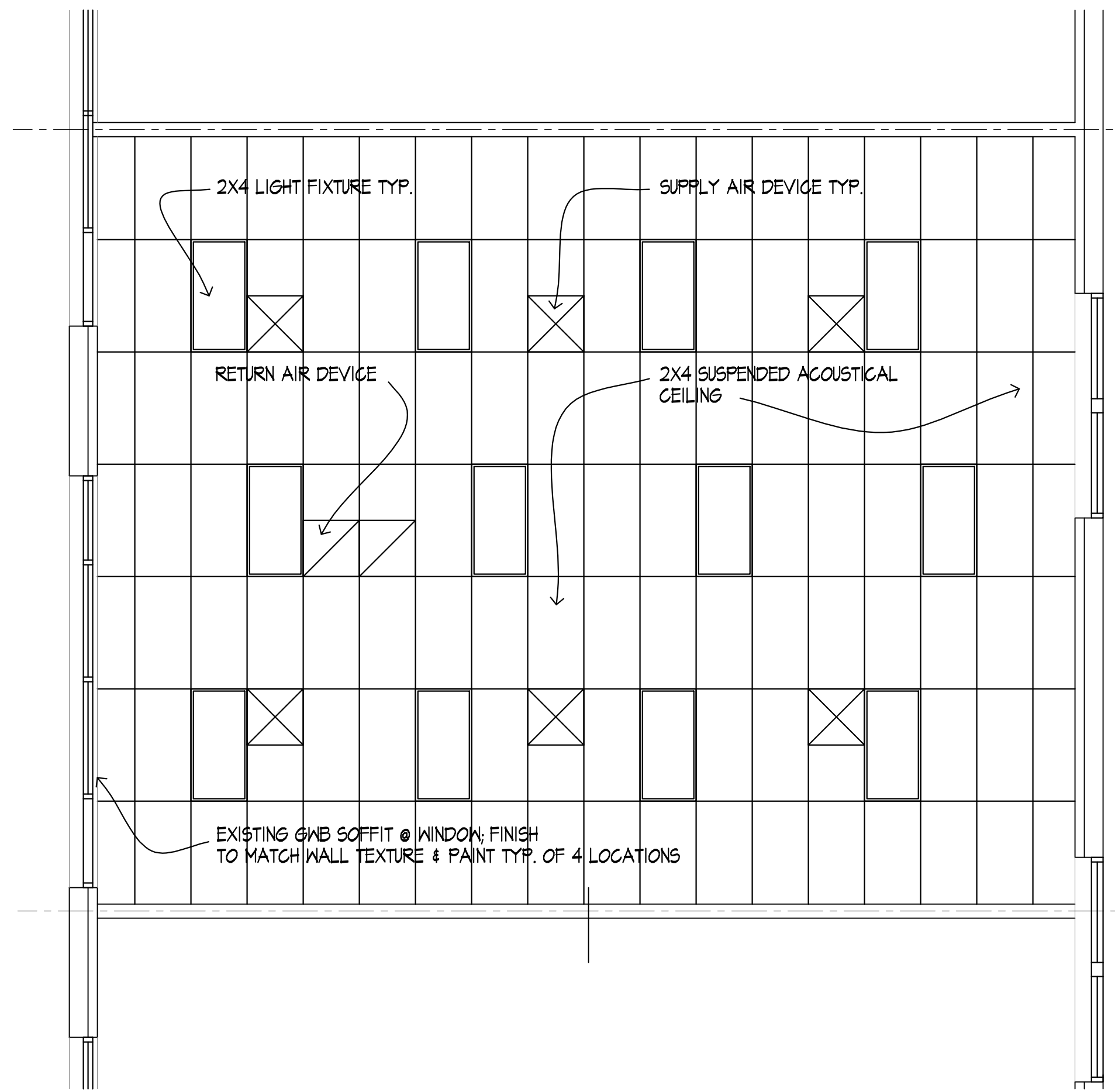
JANUARY 19, 2021



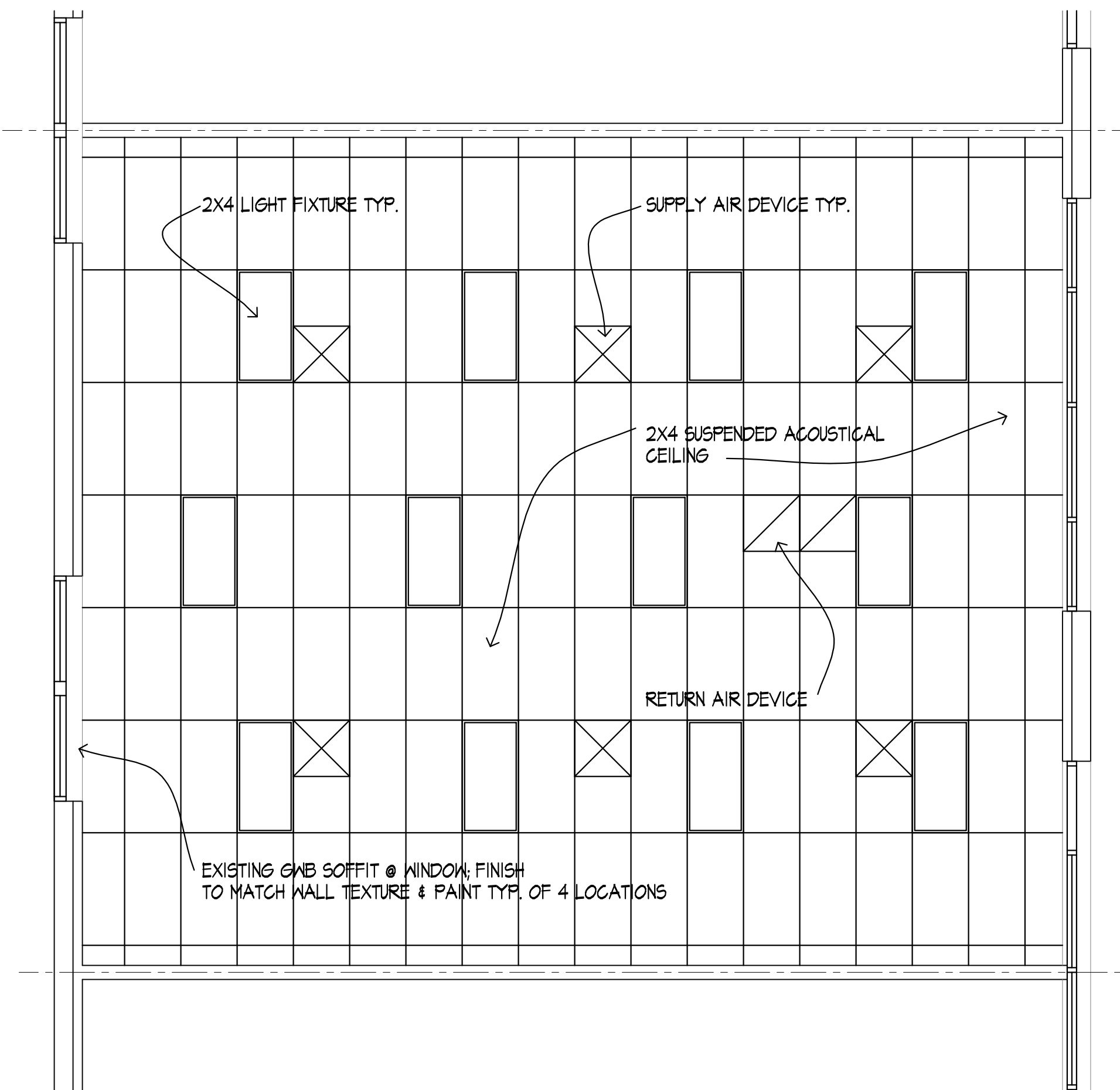
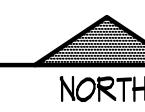
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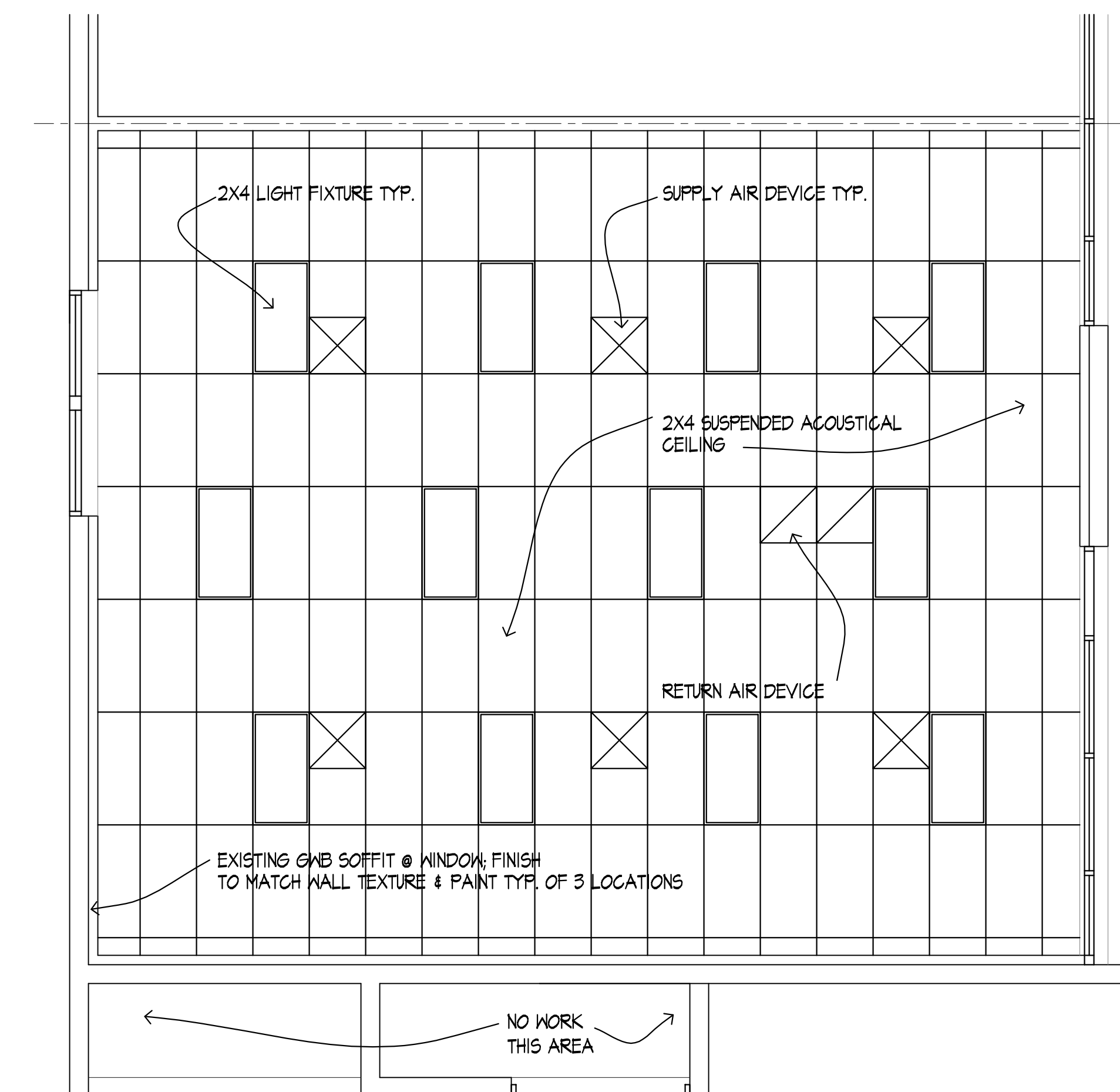
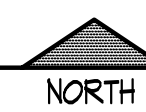
REFLECTED CEILING PLAN SPACE 117
SCALE: 1/4" = 1'-0"



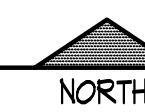
REFLECTED CEILING PLAN SPACE 115
SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN SPACE 127
SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN SPACE 137
SCALE: 1/4" = 1'-0"



SPECIFICATIONS

GENERAL
GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES AND METHODS OF CONSTRUCTION AS REQUIRED FOR COMPLETION OF THE PROJECT WITH THE INTENT OF THESE DOCUMENTS.

ALL NEW MATERIALS SHALL BE PAINTED, EXCEPT FACTORY FINISHED MATERIALS, UNLESS INDICATED OTHERWISE.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING NEEDED DURING CONSTRUCTION.

VERIFY LOCATIONS OF UTILITIES PRIOR TO EXCAVATION, TRENCHING, ETC. CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED UTILITIES.

EXISTING STRUCTURES, EQUIPMENT, PAVEMENT, WALKS, AND ANY EXISTING MATERIALS THAT ARE NOT TO BE REMOVED SHALL BE PROTECTED FROM THE CONTRACTOR'S WORK.

PROVIDE AND COORDINATE BLOCK-OUTS, SLEEVES, INSERTS, BOLTS, PLATES, ETC., FOR ALL TRADES PRIOR TO PLACING CONCRETE. MASONRY.

ALL WORK SHALL BE PERFORMED BY PROPERLY LICENSED CONTRACTORS IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS.

ALL NEW CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES AND REGULATIONS. ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ARCHITECT.

A PERMIT IS REQUIRED FOR THIS WORK. ALL PERMIT FEES TO BE PAID FOR BY CONTRACTOR. ALL INSPECTIONS TO BE COORDINATED WITH THE CITY OF TUCSON.

SEAL ALL NEW PENETRATIONS THROUGH WALLS.

ALL ITEMS ARE TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.

ALL MATERIALS INDICATED BY TRADE NAME ARE FOR REFERENCE ONLY. THE CONTRACTOR MAY SUBSTITUTE EQUAL QUALITY MATERIALS.

ALL COLORS ARE TO BE SELECTED BY THE OWNER. CONTRACTOR TO SUBMIT COLOR SAMPLES.

SITE WORK

CONCRETE

MASONRY

METALS

N/A THIS PROJECT

WOOD & PLASTICS

CONTRACTOR TO PROVIDE ALL REQUIRED BLOCKING FOR INSTALLATION OF ALL MISCELLANEOUS ITEMS.

MOISTURE & THERMAL PROTECTION

DOORS & WINDOWS

N/A THIS PROJECT

FINISHES

GYPHUM WALL BOARD TO BE BY U.S. GYPHUM OR EQUAL. TYPE AND THICKNESS AS INDICATED ON PLANS. PROVIDE ALL ACCESSORIES AS REQUIRED TO PROVIDE A COMPLETE INSTALLATION. FINISH & TEXTURE TO MATCH SUITE 105.

GYPHUM WALL BOARD MATERIALS TO COMPLY WITH SECTION 2506 IBC.

ACCESSORIES FOR GYPHUM BOARD ASTM C 1047

GYPHUM WALL BOARD ASTM C 36

JOINT REINFORCING & COMPOUND ASTM C 474; C 475

STEEL SCREWS ASTM C 954; C 1002

PAINT TO BE BY DUNN EDWARDS. ALL PAINTED SURFACES TO HAVE PRIMER/SEALER & 2 COATS FOR A COMPLETE INSTALLATION.

MATCH COLOR & SHEEN OF EXISTING SUITE 105.

VINYL FLOOR TILE TO BE KAMDEAN PLANK BP SERIES.

BASE TO BE 4" HIGH ROPPE 700 SERIES.

COLORS TO BE SELECTED, BY OWNER, FROM CONTRACTOR SAMPLES.

ARMSTRONG 942, 2'X4' ACOUSTICAL TILE, 5/8" THICK, ASTM E1264 CLASS A W MEDIUM DUTY

15/16" EXPOSED T GRID, ARMSTRONG PRELUDE ML. INSTALL PER ARMSTRONG SEISMIC RX CODE COMPLIANT SOLUTION (1CG-E5R-130B).

INSTALLATION TO MEET THE REQUIREMENTS OF ASTM C635 & 636.

CONCRETE FLOOR SEALANT TO BE URETHANE OR EPOXY APPLIED OVER A COMPATIBLE CONCRETE STAIN.

CONTRACTOR TO PROVIDE SUBMITTAL DATA ON MATERIALS. COLOR TO BE SELECTED BY OWNER.

SPECIALTIES

EQUIPMENT

FURNISHINGS

SPECIAL CONSTRUCTION

CONVEYING SYSTEMS

N/A THIS PROJECT

MECHANICAL

SEE MECHANICAL PLANS FOR MECHANICAL SPECIFICATIONS.

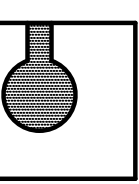
ELECTRICAL

SEE ELECTRICAL PLANS FOR ELECTRICAL SPECIFICATIONS.

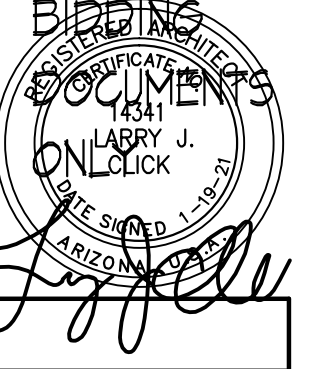
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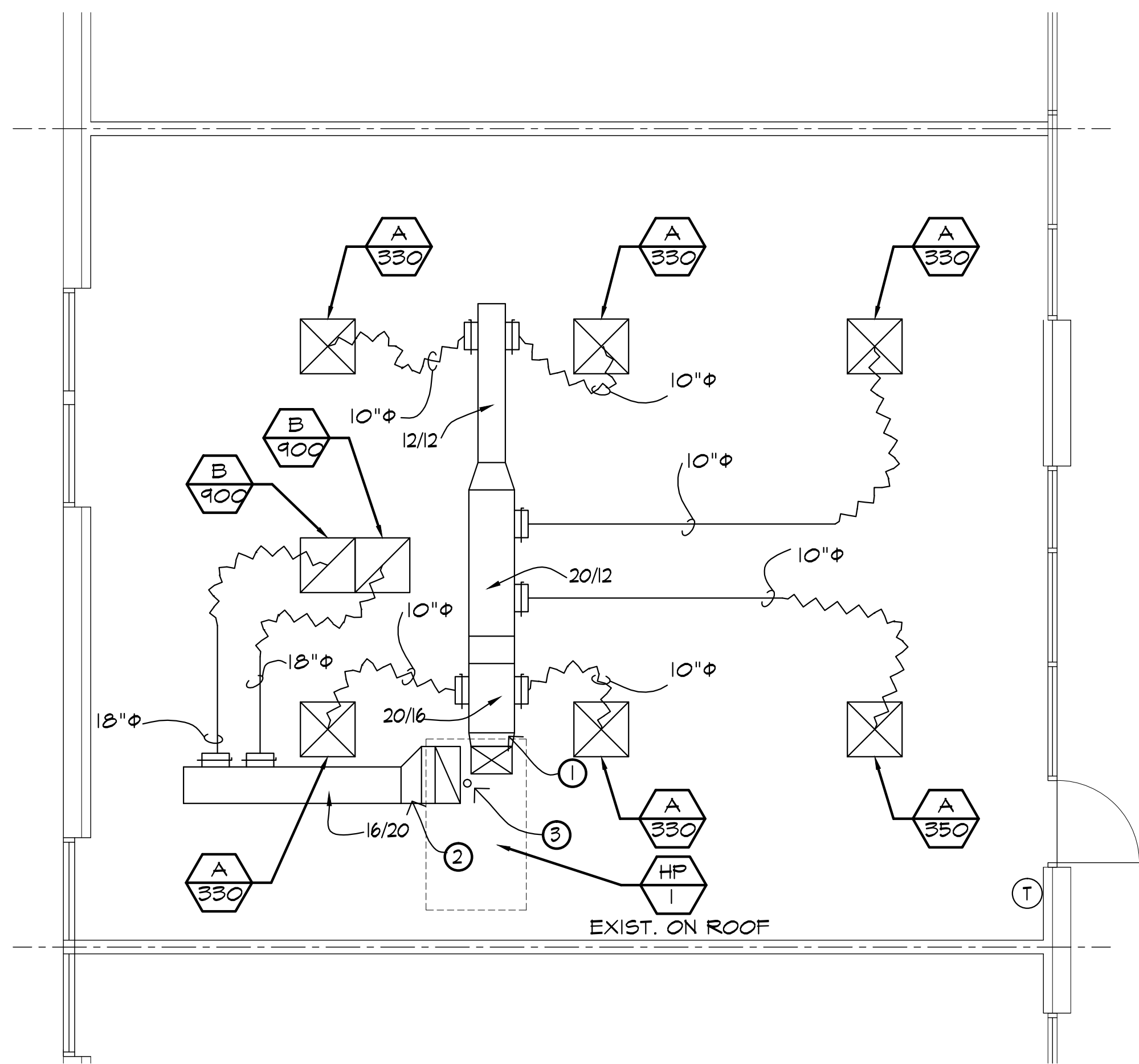
LARRY J. CLICK & ASSOCIATES
ARCHITECTS
6601 E. Grant Road, Suite # 120
Tucson, Arizona 85715
(520) 321-6670
larryjclick@aol.com



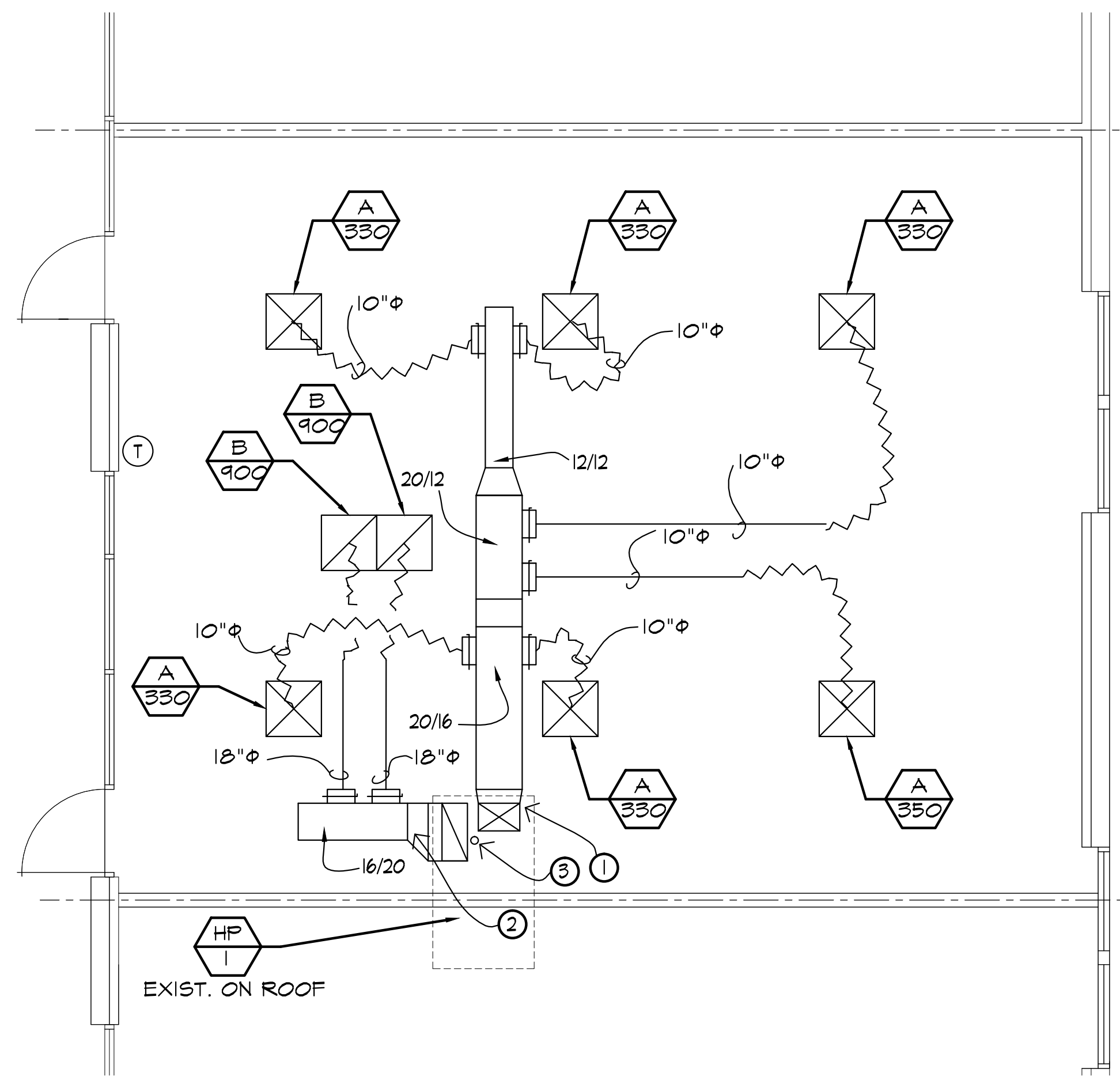
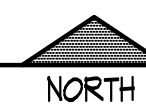
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JANUARY 19, 2021



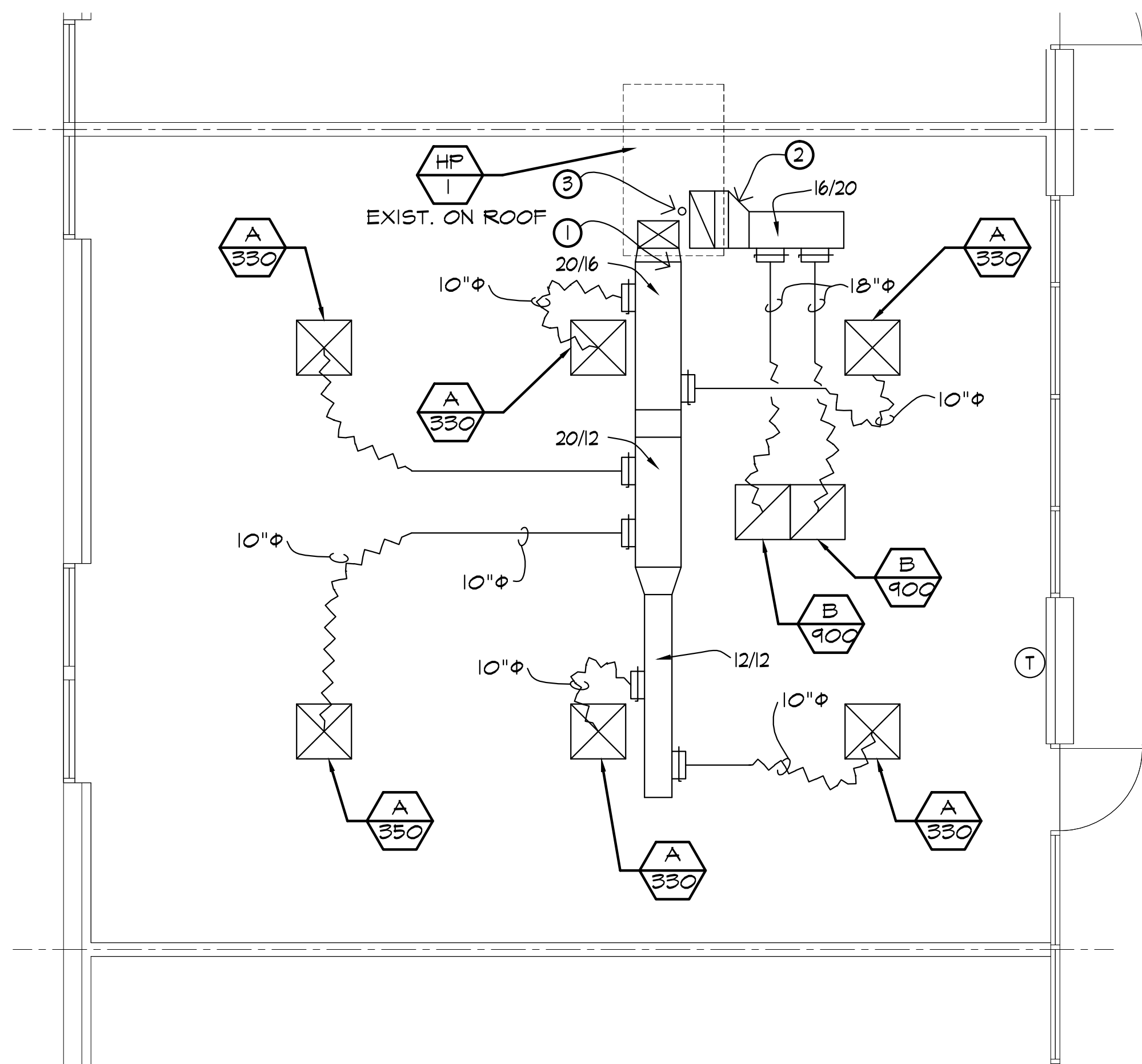
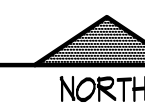
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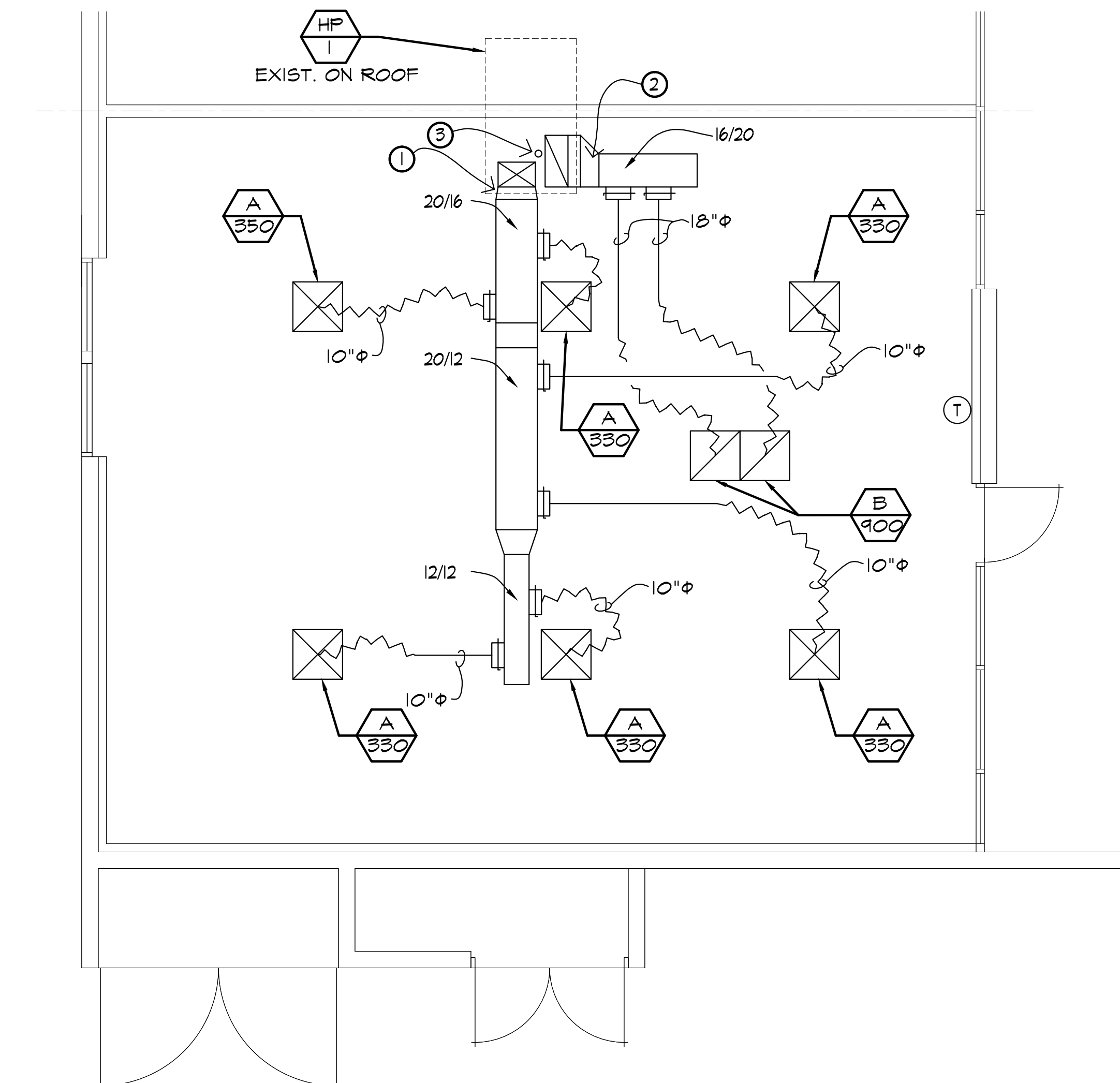
MECHANICAL PLAN SPACE 117
SCALE: 1/4" = 1'-0"



MECHANICAL PLAN SPACE 115
SCALE: 1/4" = 1'-0"



MECHANICAL PLAN SPACE 127
SCALE: 1/4" = 1'-0"



MECHANICAL PLAN SPACE 137
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- COORDINATE MECHANICAL WORK WITH WORK OF ALL DISCIPLINES.
- VERIFY ALL EXISTING CONDITIONS.

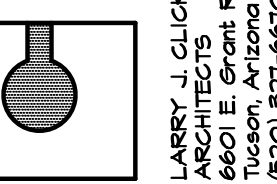
KEY NOTES

- EXIST. SUPPLY DUCT FROM HP-1 THRU ROOF; FULL SIZE OF UNIT OPENING. TRANSITION TO SIZES INDICATED.
- EXIST. RETURN DUCT TO HP-1 THRU ROOF; FULL SIZE OF UNIT OPENING. TRANSITION TO SIZES INDICATED.
- EXIST. 3/4" C.D. PIPING FROM HP-1 THRU ROOF ROUTED TO EXISTING EXTERIOR DISCHARGE.

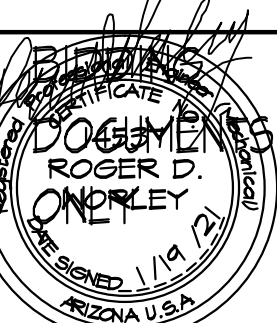
LANDLORD TENANT IMPROVEMENTS for
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LARRY J. CLICK & ASSOCIATES
ARCHITECTS
6601 E. GRAN ROAD, SUITE # 120
TUCSON, ARIZONA 85715
(520) 321-6670
larryjclick@aol.com



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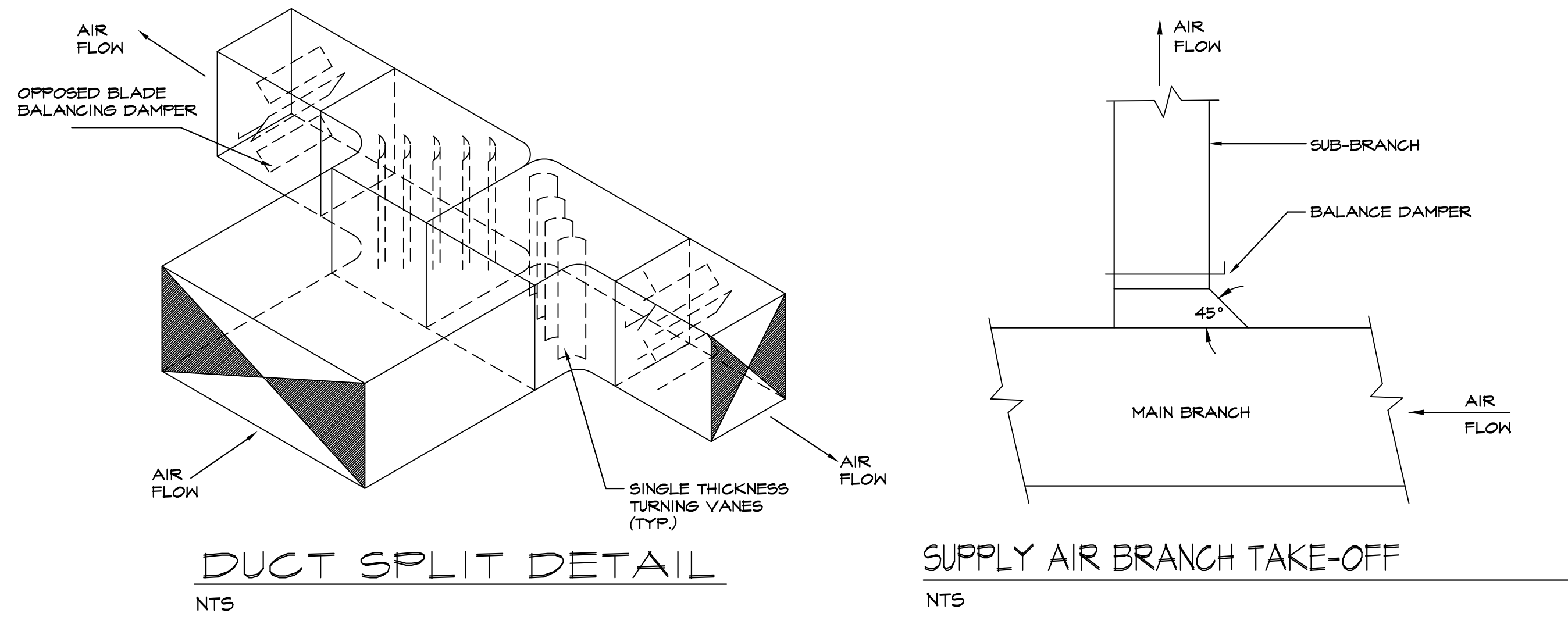


ROGER D. WORLEY, P.E.
4911 N. ALABASTER PL.
TUCSON, AZ 85742
(520) 475-5627

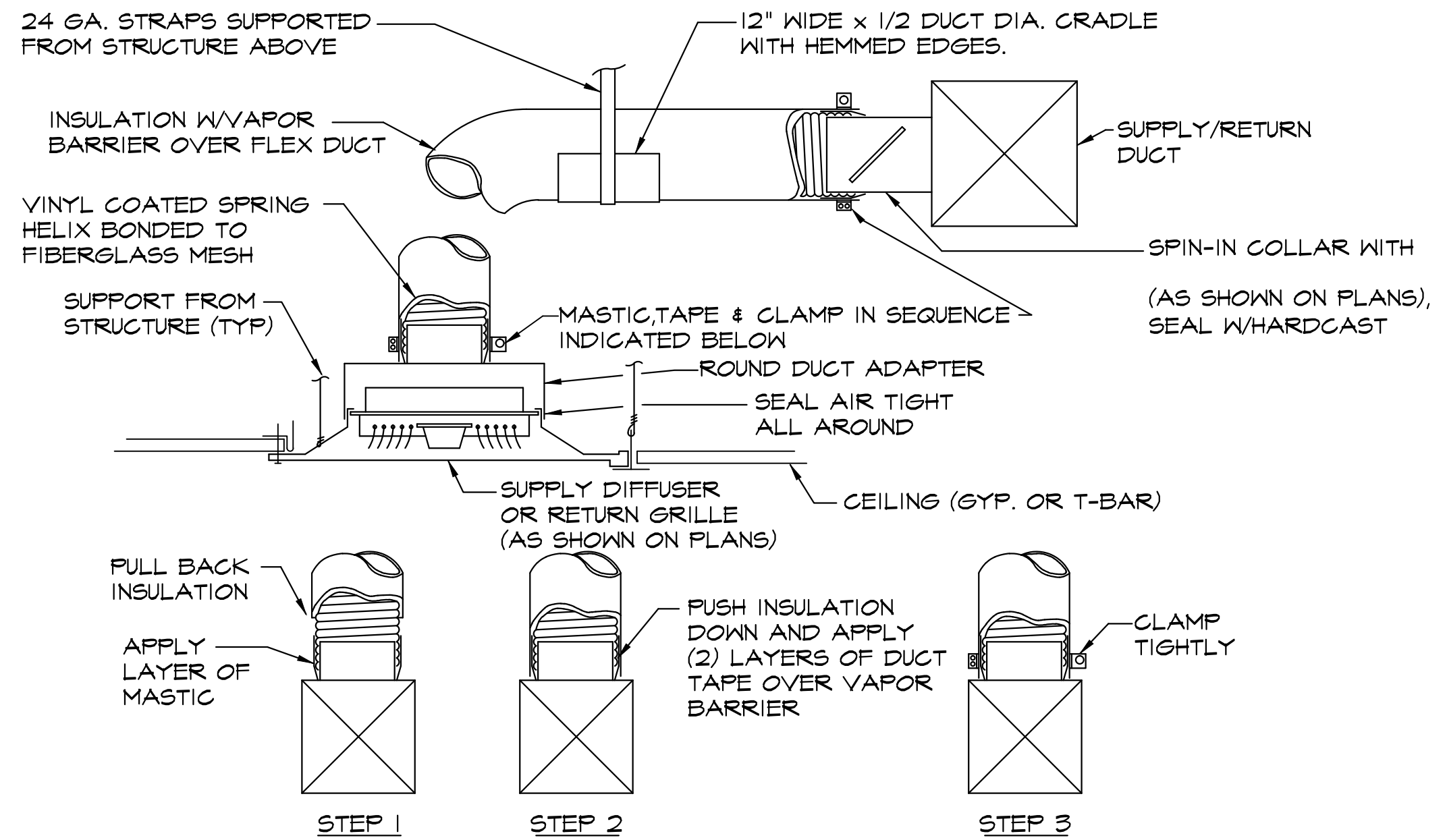
M.I.O

MECHANICAL SPECIFICATIONS AND NOTES:

1. COMPLY WITH ALL APPLICABLE SECTIONS OF THE 2018 INTERNATIONAL MECHANICAL CODE AND THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY THE CITY OF TUCSON.
2. SECURE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS.
3. PROVIDE A COMPLETE, FUNCTIONING SYSTEM AS INDICATED, INCLUDING ITEMS OF A MINOR NATURE REQUIRED FOR THE INSTALLATION, BUT NOT SPECIFICALLY NOTED OR SHOWN.
4. PRIOR TO BID AND PRIOR TO FABRICATING ANY MATERIALS OR ORDERING ANY EQUIPMENT, THOROUGHLY INVESTIGATE ALL EXISTING SITE CONDITIONS INCLUDING AVAILABLE CLEARANCES, POTENTIAL INTERFERENCES, ETC. TO INSURE THAT SYSTEMS MAY BE INSTALLED ESSENTIALLY AS INDICATED. REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.
5. CONTRACTOR SHALL MAINTAIN PREMISES IN CLEAN CONDITION AT END OF EACH DAY AND THOROUGHLY CLEAN-UP AT END OF CONSTRUCTION.
6. THE CONTRACTOR SHALL COORDINATE AND PAY FOR ALL COSTS ASSOCIATED WITH THE SUBSTITUTION OF PRODUCTS OTHER THAN SPECIFIED.
7. EQUIPMENT SHALL BE AS SCHEDULED ON THE DRAWINGS. EQUAL EQUIPMENT OF MANUFACTURERS OTHER THAN INDICATED WILL BE CONSIDERED.
8. ALL DUCTWORK SHALL BE GALVANIZED STEEL, FABRICATED AND INSTALLED IN ACCORDANCE WITH INTERNATIONAL MECHANICAL CODE AND SMACNA LOW VELOCITY DUCT CONSTRUCTION MANUAL. SIZES SHOWN ARE CLEAR INSIDE DIMENSIONS, INCREASE SIZES FOR DUCT LINER. ALL DUCTS EXPOSED TO WEATHER SHALL BE SEALED (JOINTS & SEAMS) WITH SILICONE SEALANT. FLASH ALL DUCTS THROUGH ROOF (DTR).
9. FLEXIBLE DUCTWORK SHALL BE EQUAL TO THERMAFLEX "MK-A" CONSISTING OF A VINYL COATED SPRING HELIX, MINIMUM 1" THICK GLASS FIBER INSULATION, AND INNER LINER TO PREVENT EROSION AND AN EXTERIOR VAPOR BARRIER JACKET. THE FLEXIBLE DUCT ASSEMBLY SHALL BE U.L. LISTED. MAXIMUM FLEXIBLE DUCT LENGTH SHALL NOT EXCEED 6 FT.
10. SUPPLY AND RETURN DUCTWORK INDOORS SHALL BE WRAPPED W/ 1-1/2" THICK FLEXIBLE FIBERGLASS INSULATION W/ VAPOR BARRIER AS.; MINIMUM R-5 INSULATION VALUE. SUPPLY AND RETURN DUCTWORK LOCATED ON THE ROOF SHALL BE COVERED W/ 2" THICK RIGID FIBERGLASS INSULATION W/ VAPOR BARRIER AND COATED W/ WEATHERPROOF MASTIC.
11. PROVIDE ONE YEAR WARRANTY (FROM DATE OF FINAL ACCEPTANCE) ON ALL LABOR AND MATERIALS PROVIDED UNDER THIS CONTRACT.
12. INSULATE CONDENSATE DRAIN LINES ABOVE CEILING WITH 0.5" THICK ARMSTRONG 'ARMAFLEX' OR EQUAL INSULATION.
13. STARTING OF MECHANICAL SYSTEMS.
 - 13.1. START-UP, TEST AND ADJUST ALL EQUIPMENT AS INDICATED. INSTALL THE PROPER OPERATING CHARGE OF REFRIGERANT AND OIL IN ALL AIR CONDITIONING SYSTEMS AS RECOMMENDED BY THE MANUFACTURER. CHECK OPERATING VOLTS AND AMPS FOR ALL EQUIPMENT. CHECK OPERATION OF HEATING SYSTEM AT BEGINNING OF FIRST HEATING SEASON.
 - 13.2. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR THE START-UP AND OPERATION OF ALL EQUIPMENT. COORDINATE THE INSTRUCTIONS RELATED TO VARIOUS PIECES OF EQUIPMENT WHICH FUNCTION TOGETHER AS A SYSTEM TO INSURE THAT RELATED START-UP PROCEDURES ARE ACCOMPLISHED IN THE PROPER SEQUENCE. PROVIDE SERVICES OF FACTORY TRAINED REPRESENTATIVE TO SUPERVISE TESTING, DEHYDRATION, START-UP AND INSTRUCTION ON OPERATION AND MAINTENANCE TO OWNER.
 - 13.3. CHECK EACH ELECTRICAL CONTROL CIRCUIT TO ASSURE THAT OPERATION COMPLIES WITH SPECIFICATIONS AND SYSTEM REQUIREMENTS TO PROVIDE DESIRED PERFORMANCE.
14. BALANCE AIR FLOW AS INDICATED ON THE DRAWINGS. SUBMIT AIR BALANCE REPORT IN AABC OR NEBB FORMAT. AIR BALANCE REPORT MUST BE APPROVED BY THE ARCHITECT/ENGINEER BEFORE CERTIFICATE OF OCCUPANCY CAN BE ISSUED.



DUCT SPLIT DETAIL NTS
SUPPLY AIR BRANCH TAKE-OFF NTS



SUPPLY DIFFUSER AND FLEXIBLE DUCT DETAILS

NOTE: MAX. LENGTH OF FLEX DUCT= 6'-0"

AIR DEVICE SCHEDULE					
MARK	TITLE MODEL	NECK SIZE	MOUNT	SERVICE	REMARKS
A	TMS	①	FRAME 23	SUPPLY	②
B	355FL	18X18	FRAME 23	RETURN	②

- ① AS INDICATED ON DRAWINGS.
- ② W/ BALANCING DAMPER.

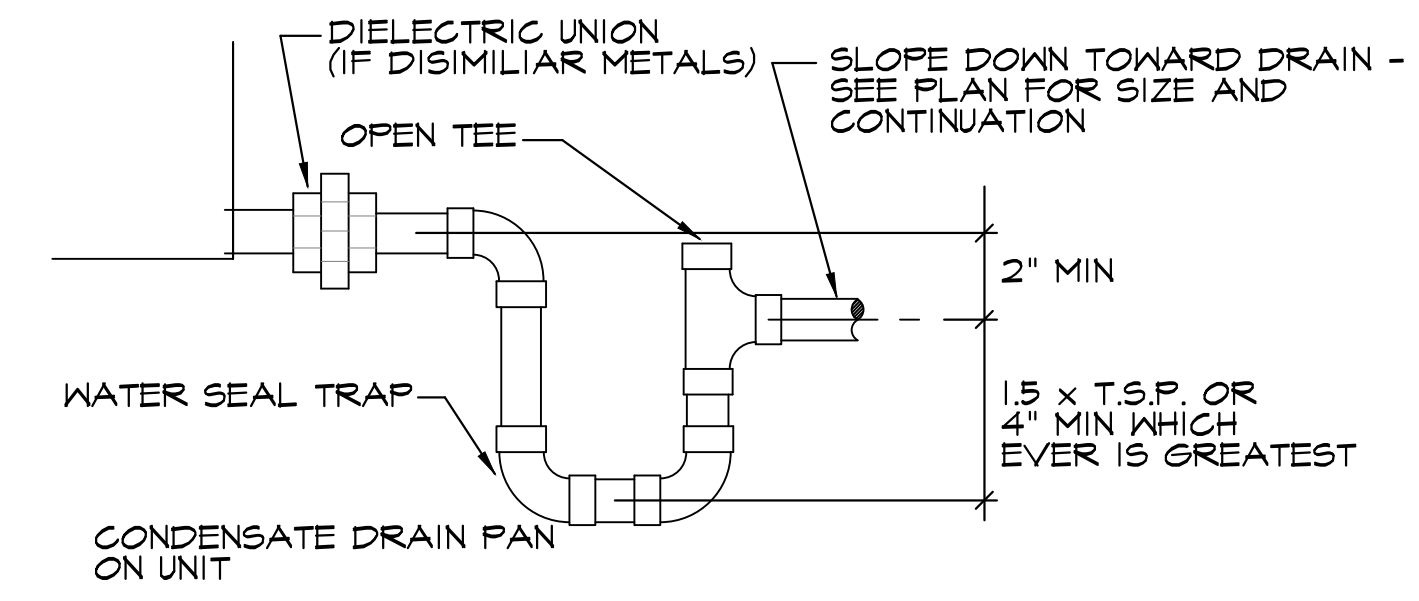
EXISTING PACKAGED HEAT PUMP UNIT SCHEDULE (FOR REFERENCE ONLY)																
MARK	CARRIER MODEL	CFM	SP. IN. H.C.	COOLING		ENT. AIR		LV. AIR		AMB F	SEER	ELECTRIC			OP. WT. LBS	REMARKS
				TOTAL	SENSIBLE	Fdb	Fwb	Fdb	Fwb			VOLTAGE	MCA	MCOF		
HP-1	50HCQA06	2000	0.6	55600	55600	85	61	55	54	115	15.0	208/230/13/160	30.0	45	750	①②③④

- ① W/ PREFABRICATED FACTORY INSULATED ROOF CURB.
- ② W/ 7-DAY PROGRAMMABLE THERMOSTAT, W/ 5 DEGREE DEADBAND.
- ③ W/ MANUAL OUTSIDE AIR DAMPER.
- ④ W/ 2" THICK MERV 13 FILTERS.

OUTDOOR AIR CALCULATIONS

PER 2018 INTERNATIONAL MECHANICAL CODE SECTION 403.3

HP-1 OFFICE
 $A_z = \text{OFFICE} = 1015 \text{ FT}^2$ (TYPICAL 4 OFFICES)
 $P_z = \text{PEOPLE} = 5/1000 \text{ FT}^2 \times 1015 \text{ FT}^2 = 5$
 $R_p = 5 \text{ CFM/PERSON}$
 $R_{oz} = 0.6 \text{ CFM/FT}^2$
 $V_{oz} = R_p P_z + R_{oz} A_z$
 $V_{oz} = (5)(5) + (0.6 \times 1015) = 86 \text{ CFM}$
 $V_{oz} = V_{oz} / E_z$
 $V_{oz} = 86 / 0.8 = 107 \text{ CFM}$
 BALANCE HP-1 FOR 200 CFM O.A. (10%)



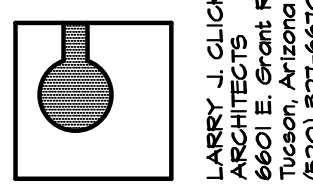
CONDENSATE DRAIN DETAIL

NTS

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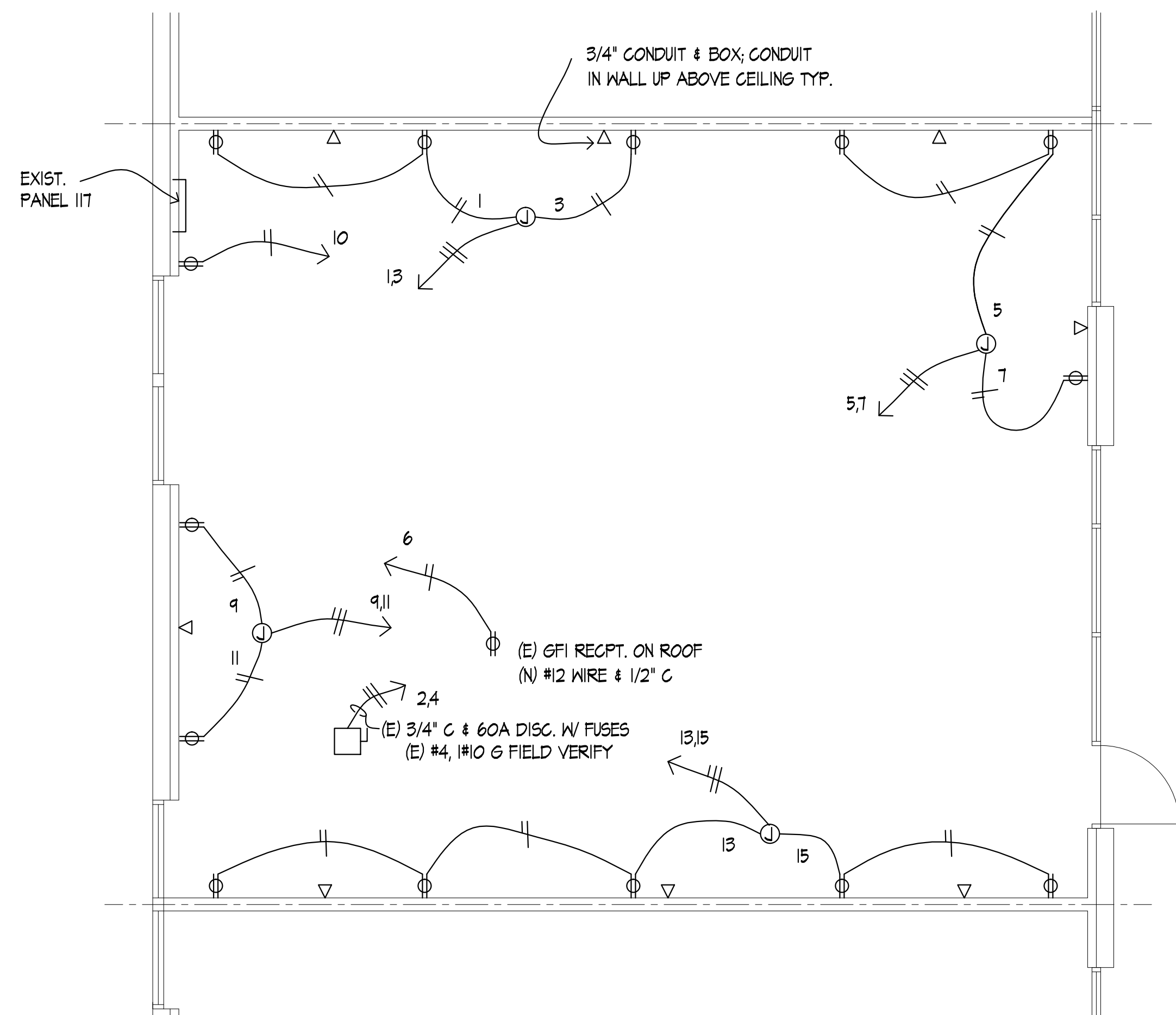
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LARRY J. CLICK & ASSOCIATES
 6801 E. Grant Road, Suite # 120
 Tucson, Arizona 85715
 (520) 527-6670
 larryjclick@aol.com

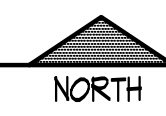


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POWER PLAN SPACE 117
SCALE: 1/4" = 1'-0"



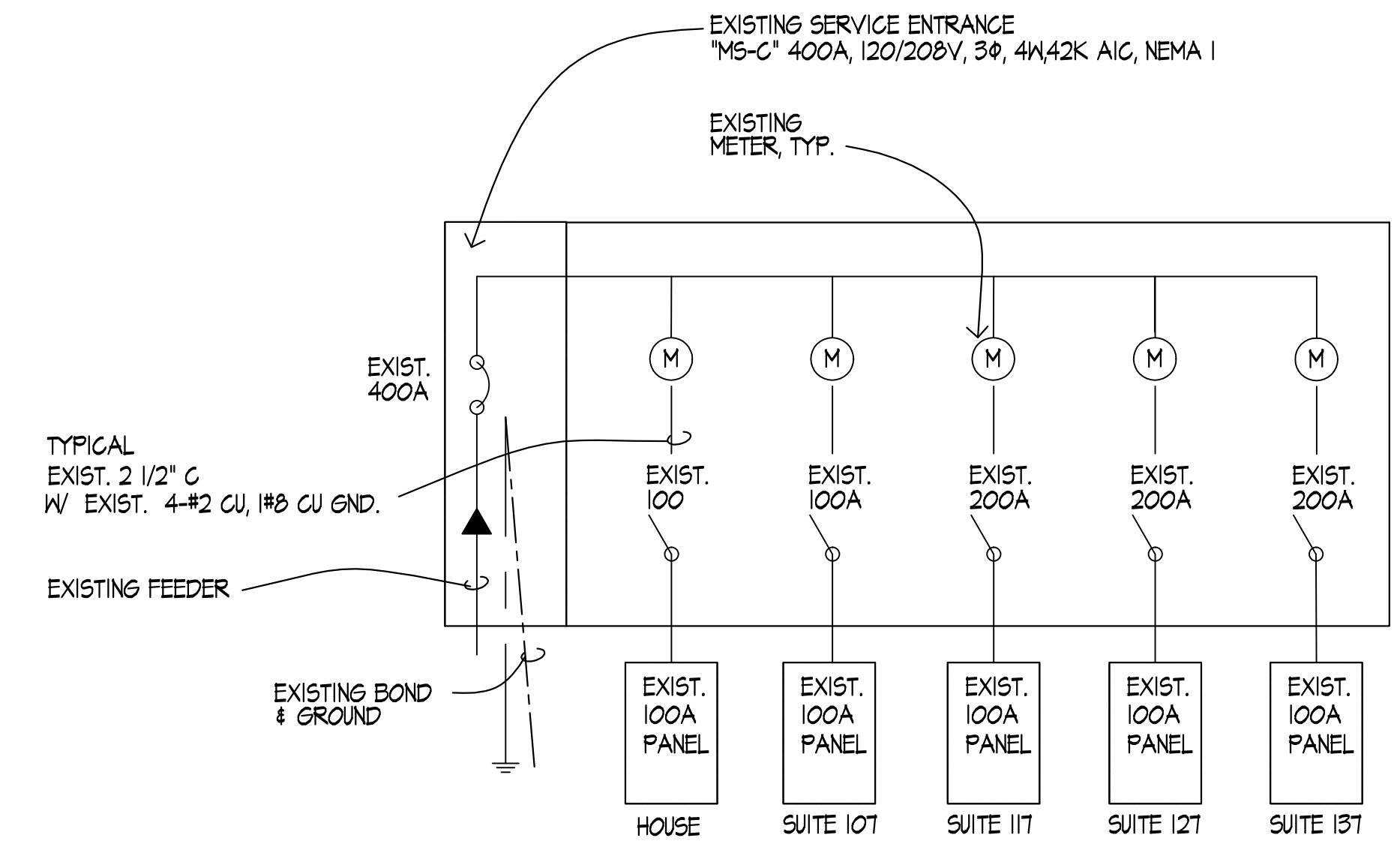
EXISTING TYP. PANEL SUITE 117, 127, 137

MOUNTING: (E) RECESSED
LOCATION: (E) REAR OF SPACE

120/208V, 4W 125A MAIN LUGS MIN AIC 10,000

DESTINATION	CKT	BKR	A	B	C	BKR	CKT	DESTINATION
RECPT.	1	20	360	3600		60	2	HP-1
RECPT.	3	20		180	3600		3	
RECPT.	5	20			360	180	6	GFI ON ROOF
RECPT.	7	20	180	348			8	LIGHTS
RECPT.	4	20		180	180		10	PHONE BOARD
RECPT.	11	20			180		12	SPARE
RECPT.	13	20	540				14	SPARE
RECPT.	15	20		360			16	SPARE
SPARE	17	20			540		18	SPARE
SPARE	19	20					20	SPARE
SPARE	21	20					22	SPARE
SPARE	23	20					24	SPARE
SPARE	25	20					26	SPARE
SPARE	27	20					28	SPARE
SPARE	29	20					30	SPARE
SPARE	31	20					32	SPARE
SPARE	33	20					34	SPARE
SPARE	35	20					36	SPARE
SPACE	37						38	SPACE
SPACE	39						40	SPACE
SPACE	41						42	SPACE
25% LARGEST MOTOR			5028	4500	1260			
TOTAL LOAD			5928	5400	1260	12588 ÷ 208√3 = 35A		

NOTE: ALL BREAKERS ARE EXISTING

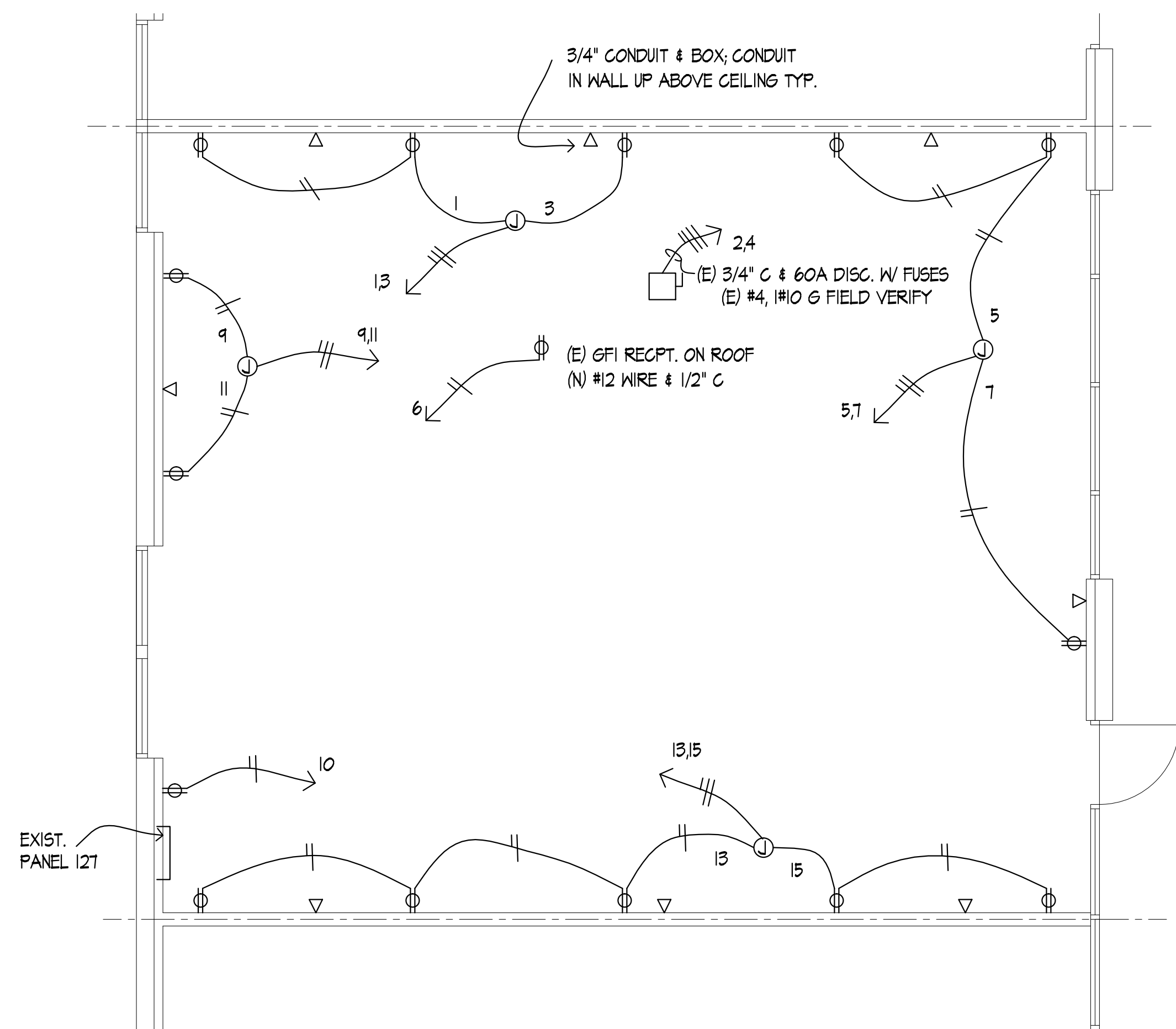


EXISTING ELECTRIC SERVICE RISER DIAGRAM
SCALE: NTS

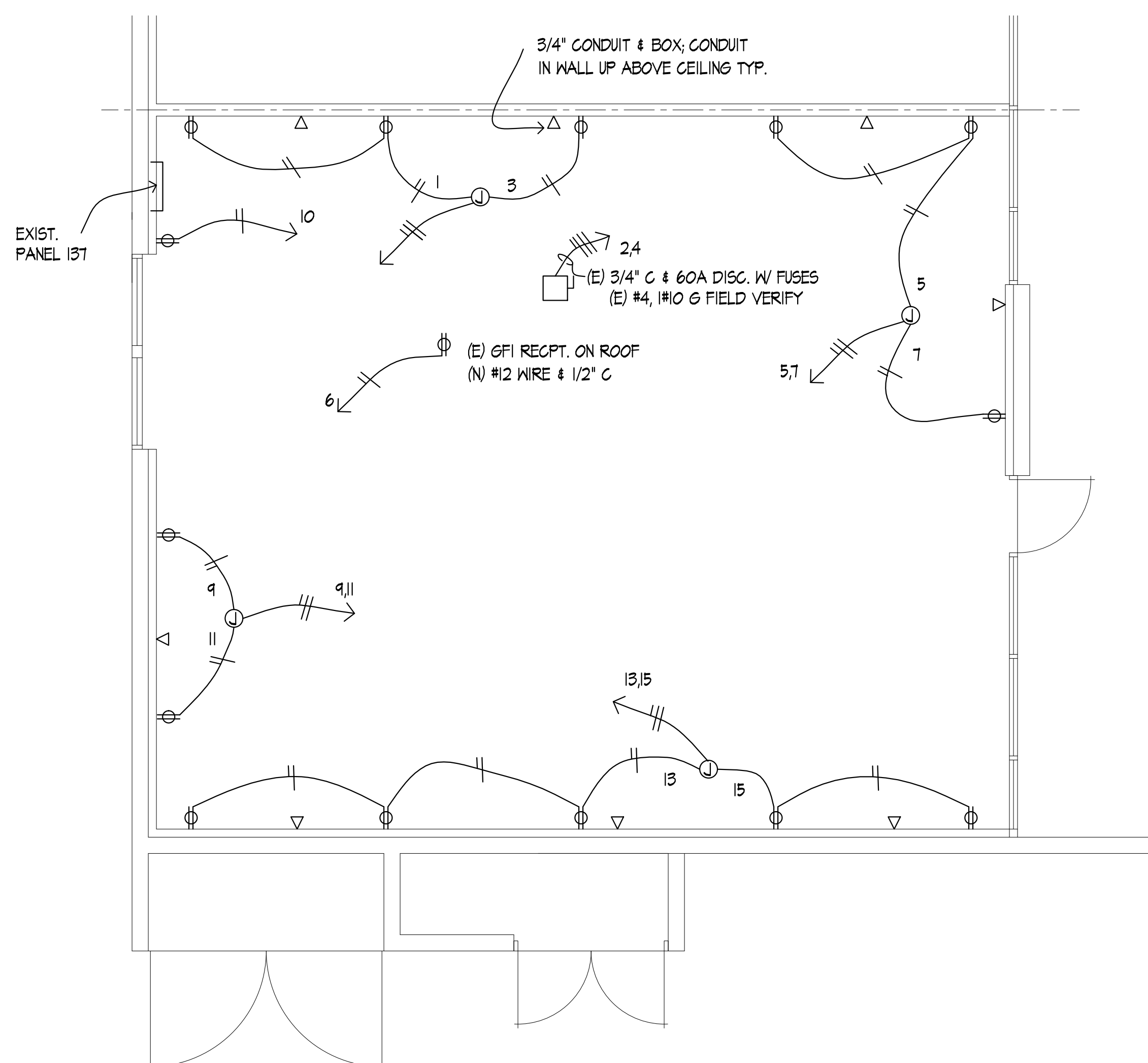
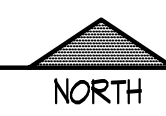
LOAD SUMMARY CALC:

HOUSE	5 A
SUITE 105	61 A
SUITE 115	35 A
SUITE 125	35 A
SUITE 135	35 A
TOTAL	171 A

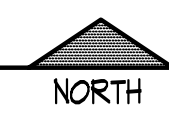
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TUCSON, ARIZONA 85711



POWER PLAN SPACE 127
SCALE: 1/4" = 1'-0"



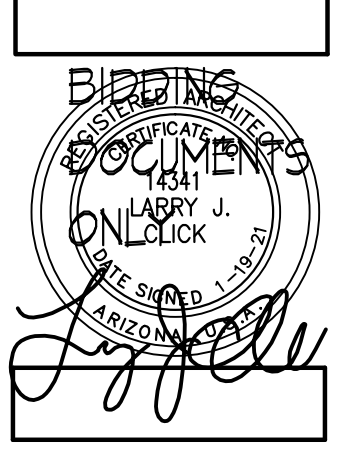
POWER PLAN SPACE 137
SCALE: 1/4" = 1'-0"



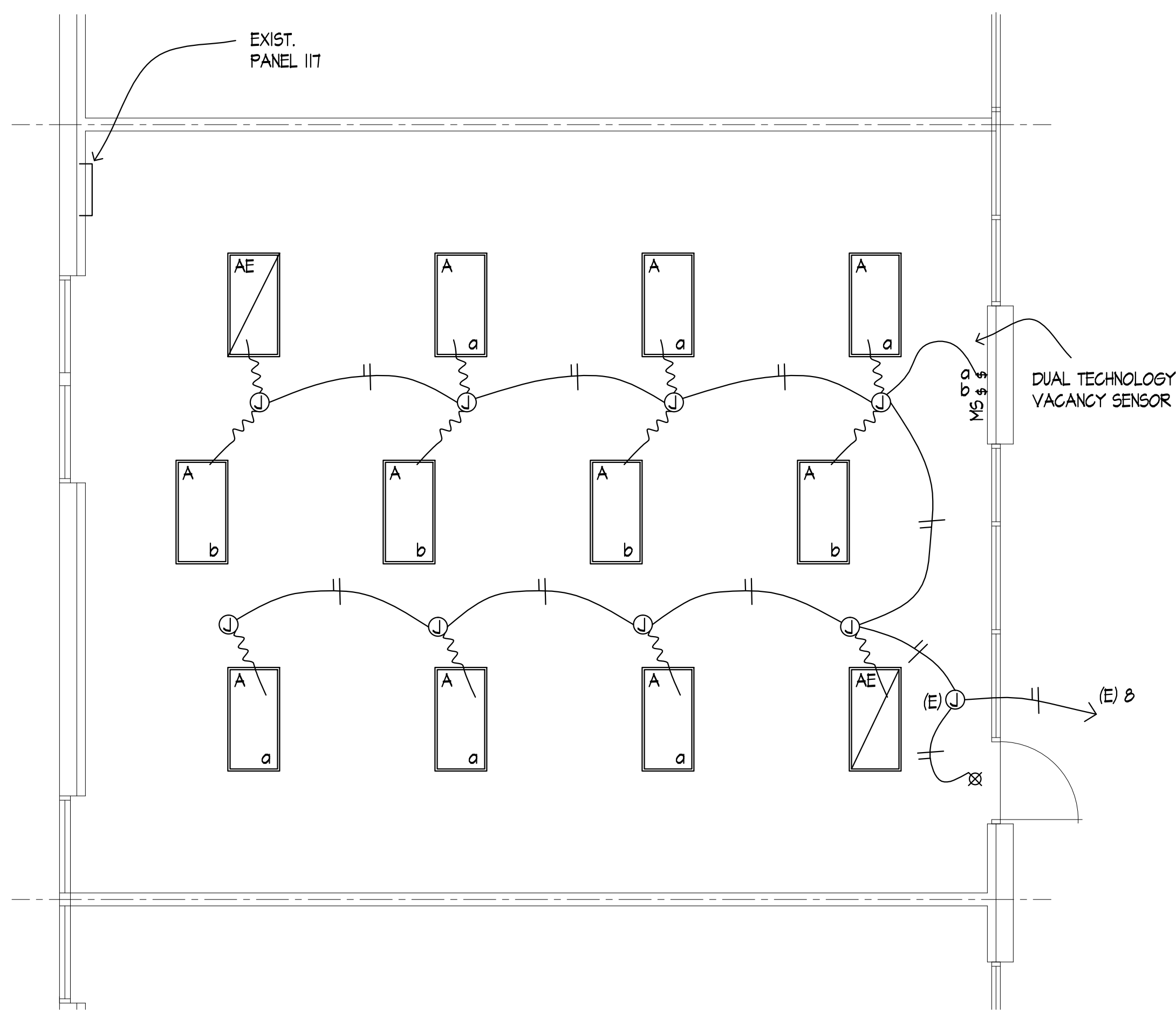
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LARRY J. CLUCK & ASSOCIATES
ARCHITECTS
6801 E. Grant Road, Suite # 120
Tucson, Arizona 85715
(520) 321-6670
larryjcluck@aol.com

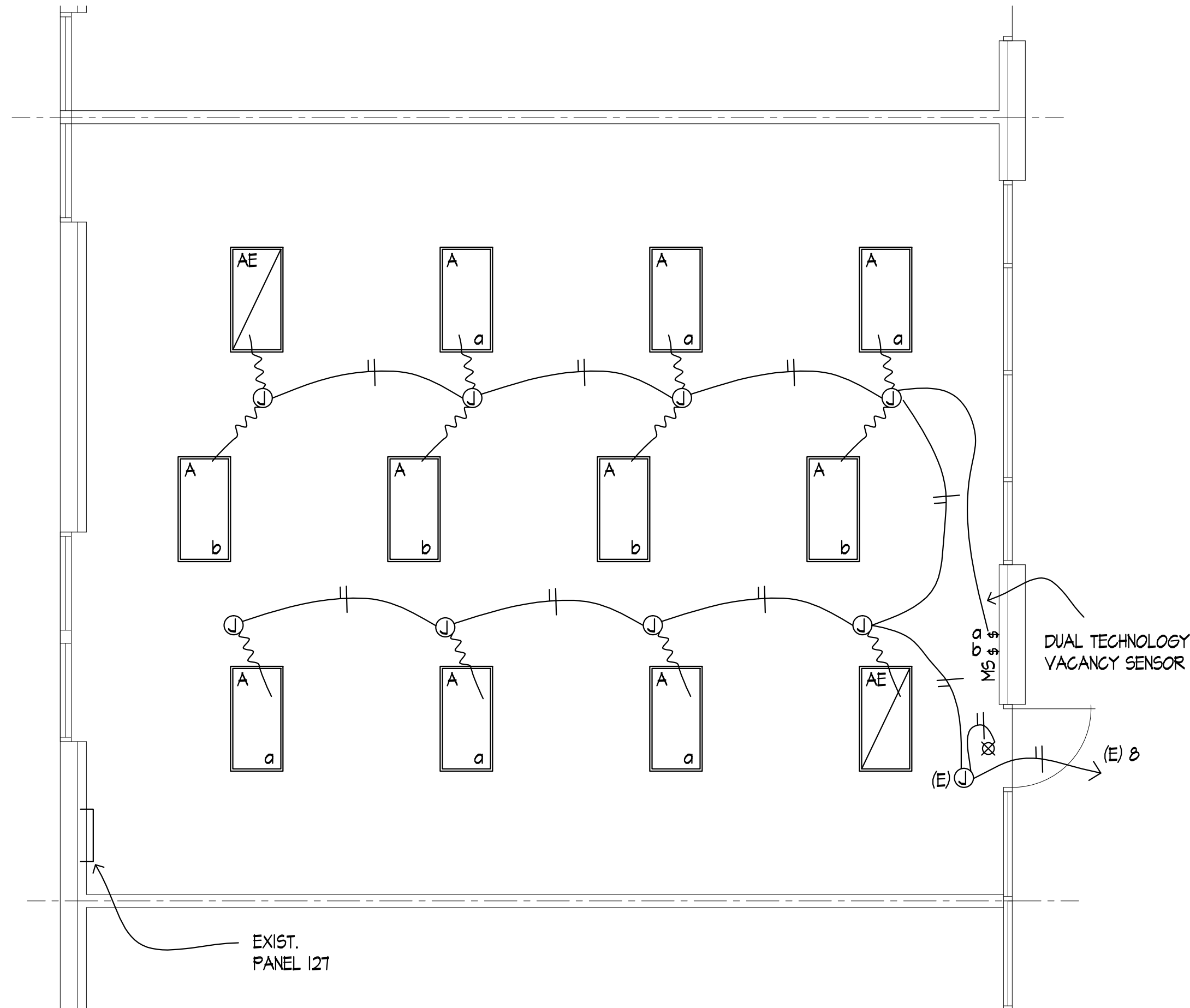
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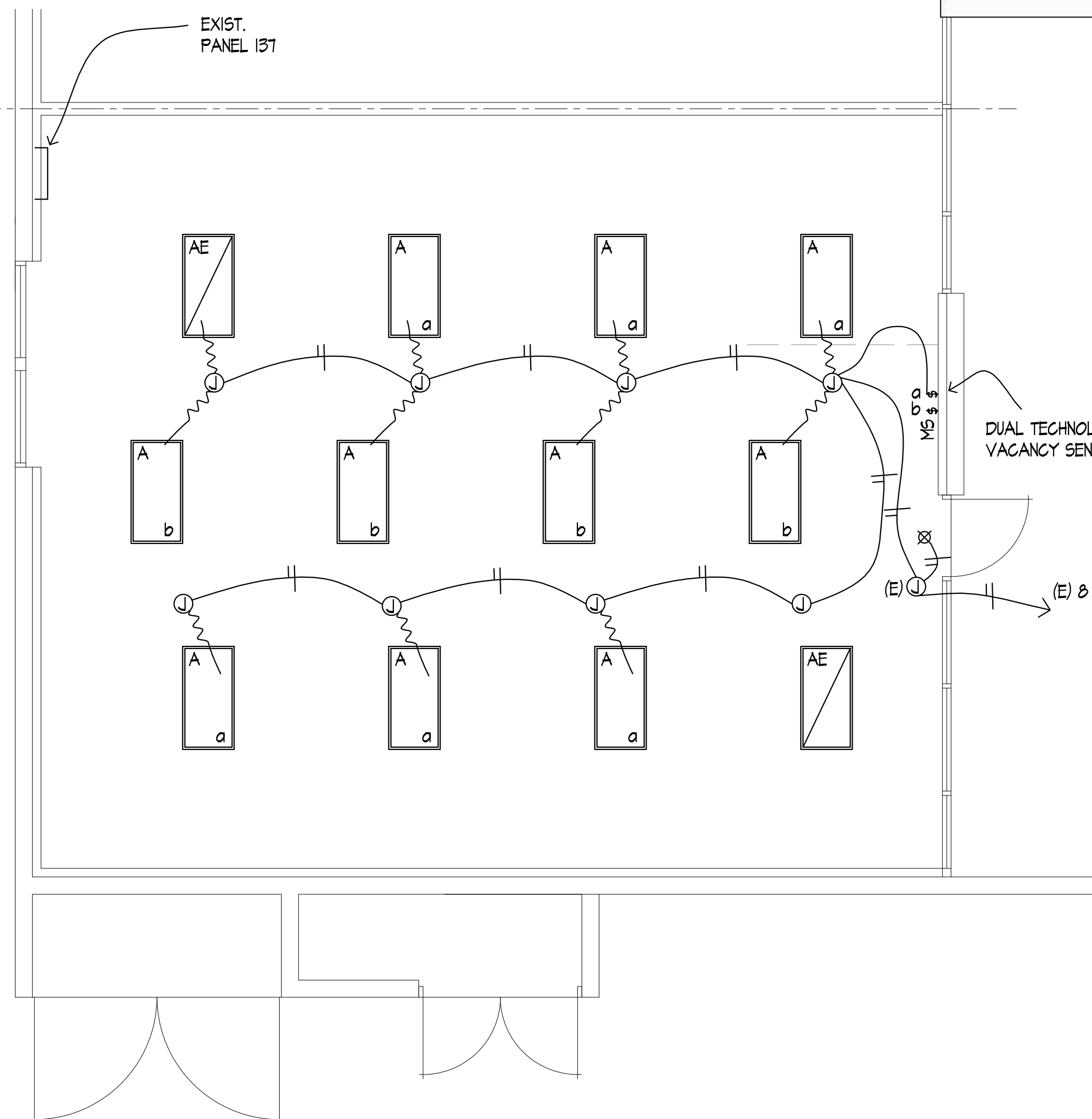
LIGHTING PLAN SPACE 117
SCALE: 1/4" = 1'-0"



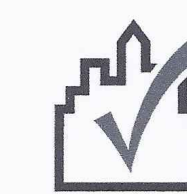
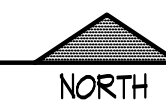
LIGHTING PLAN SPACE 127
SCALE: 1/4" = 1'-0"



FIXTURE SCHEDULE			
MARK	MANUFACTURER	LAMPS	REMARKS
A	2X4 LED CREE LIGHTING #ZR24-40L-835-10V5-UNV 120V	LED	
AE	2X4 LED CREE LIGHTING TO MATCH FIXTURE A W/ EB	LED	WITH 90 MIN BATTERY BACK-UP INCLUDED
⊗	EXIT LITHONIA LQM	LED MAX. 5 W INPUT	WITH 90 MIN BATTERY BACK-UP INCLUDED



LIGHTING PLAN SPACE 137
SCALE: 1/4" = 1'-0"



COMcheck Software Version COMcheckWeb
Interior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC
Project Title: Community Foundation
Project Type: New Construction

Construction Site: Owner/Agent: Designer/Contractor:

Additional Efficiency Package(s)

Reduced interior lighting power. Requirements are implicitly enforced within interior lighting allowance calculations.

Allowed Interior Lighting Power

Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts
1-Common Space Types:Office - Open Plan	1023	0.73	747
Total Allowed Watts =			747

Proposed Interior Lighting Power

Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Fixture (C X D) Watt.	E (C X D)
1-Common Space Types:Office - Open Plan				
LED 2x4; A/AE: 2x4 Troffer: Other:	1	12	29	348
Total Proposed Watts =			348	

Interior Lighting PASSES: Design 53% better than code

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Larry J. Click Architect Signature *[Signature]* Date 1/19/21

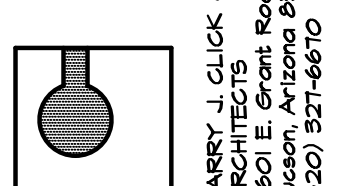
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Data filename:

Report date: 01/14/21
Page 1 of 5

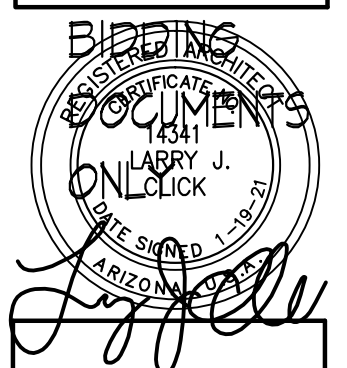
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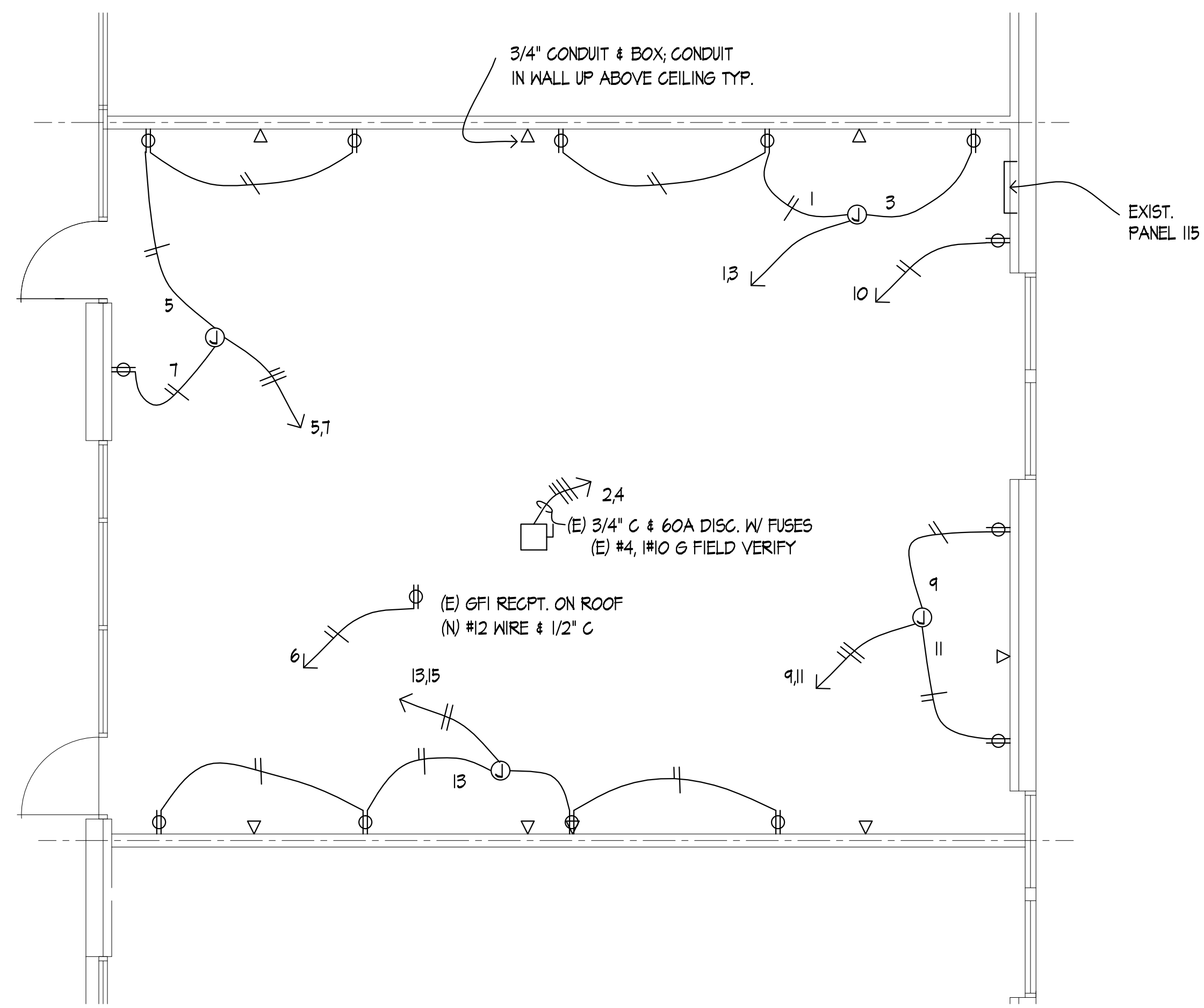
LARRY J. CLICK & ASSOCIATES
ARCHITECTS
6601 E. Grant Road, Suite # 120
Tucson, Arizona 85715
(520) 321-6670
larryjclick@aol.com



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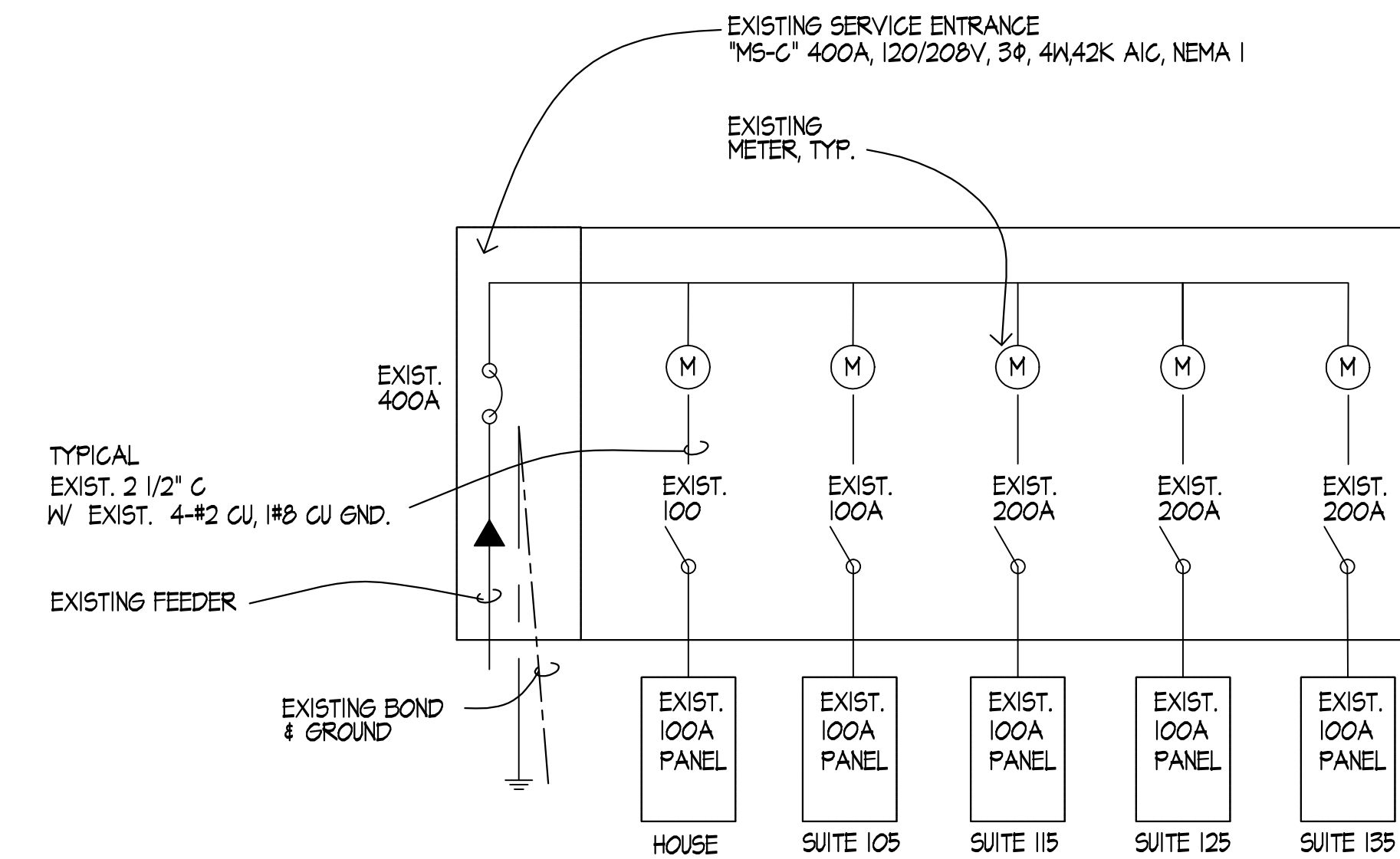


POWER PLAN PLAN SPACE 115
SCALE: 1/4" = 1'-0"

EXISTING PANEL SUITE 115

MOUNTING: (E) RECESSED LOCATION: (E) REAR OF SPACE		125A MAIN LUGS 120/208/3Ø, 4W MIN AIC 10,000		DESTINATION	
DESTINATION	CKT	BKR	A	B	C
RECPT.	1	20	360	3600	60
RECPT.	3	20		180	3600
RECPT.	5	20			360 180
RECPT.	7	20	180	348	
RECPT.	9	20		180	180
RECPT.	11	20			180
RECPT.	13	20	540		
RECPT.	15	20		360	
SPARE	17	20			540
SPARE	19	20			
SPARE	21	20			
SPARE	23	20			
SPARE	25	20			
SPARE	27	20			
SPARE	29	20			
SPARE	31	20			
SPARE	33	20			
SPARE	35	20			
SPACE	37				
SPACE	39				
SPACE	41				
SPACE	42				
25% LARGEST MOTOR			5028	4500	1260
			900	900	
TOTAL LOAD			5928	5400	1260
					$12588 \div 208\sqrt{3} = 35A$

NOTE: ALL BREAKERS ARE EXISTING



EXISTING ELECTRIC SERVICE RISER DIAGRAM
SCALE: NTS

LOAD SUMMARY CALC:

HOUSE	5 A
SUITE 105	41 A
SUITE 115	35 A
SUITE 125	35 A
SUITE 135	85 A
TOTAL	201 A

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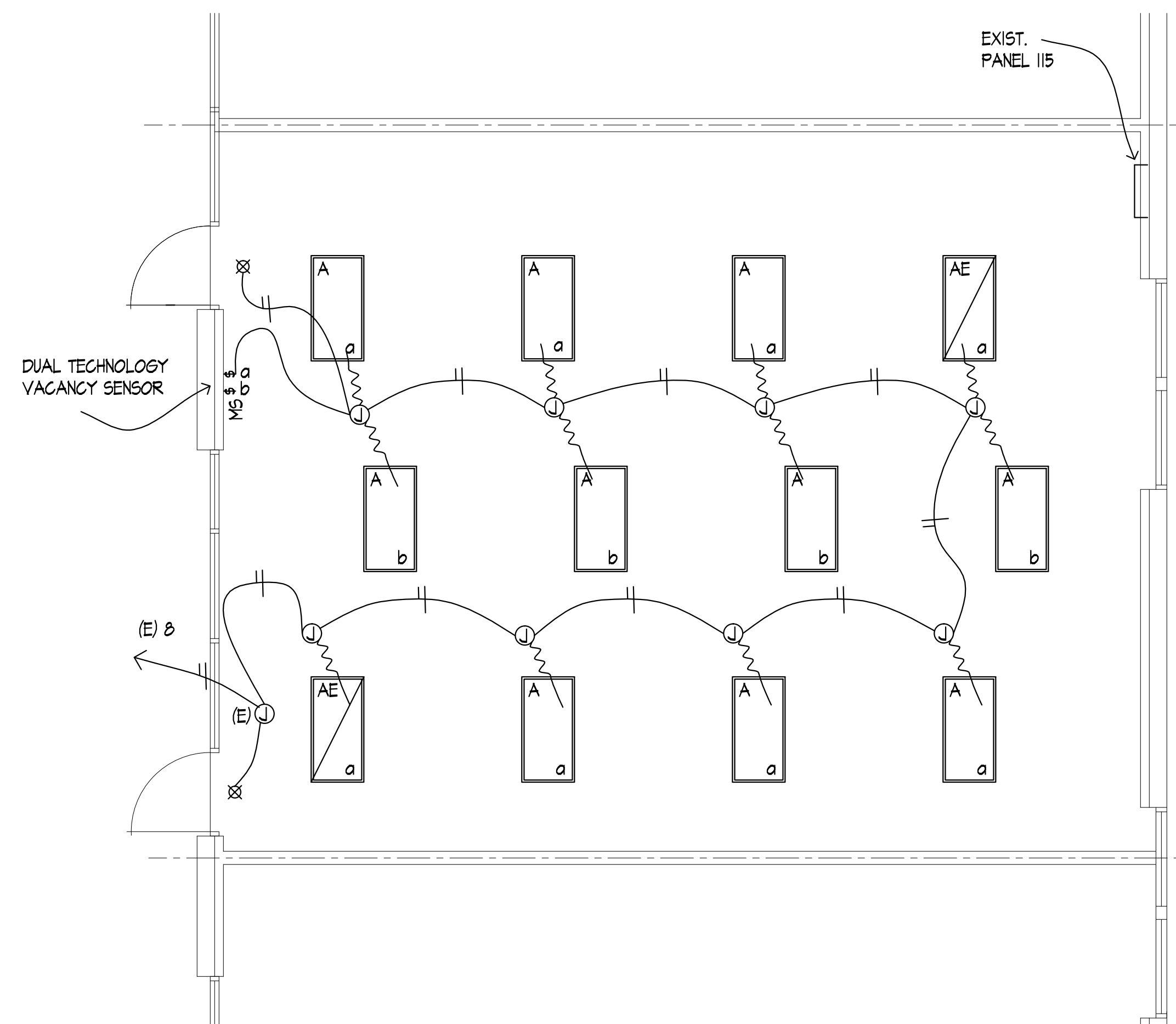
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LARRY J. CLICK & ASSOCIATES
6800 E. Grant Road, Suite # 120
Tucson, Arizona 85715
(520) 321-6670
larryjclick@aol.com

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BUILDING
COMMUNITY FOUNDATION CAMPUS
LARRY J. CLICK
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ARCHITECTS
REGISTERED PROFESSIONAL ARCHITECT
ARIZONA LICENSE # 10000

E2.0



FIXTURE SCHEDULE			
MARK	MANUFACTURER	LAMPS	REMARKS
A	2x4 LED CREE LIGHTING #ZR24-40L-835-10V5-UNV 120V	LED	
AE	2x4 LED CREE LIGHTING TO MATCH FIXTURE A W/ EB	LED	WITH 90 MIN BATTERY BACK-UP INCLUDED
⊗	EXIT LITHONIA LQM	LED MAX. 5 W INPUT	WITH 90 MIN BATTERY BACK-UP INCLUDED

LIGHTING PLAN PLAN SPACE I15
SCALE: 1/4" = 1'-0" NORTH

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TUCSON, ARIZONA 85711

ELECTRICAL NOTES

COORDINATE ALL ELECTRICAL SHUT DOWNS W/ THE TENANT.

ALL WORK SHALL COMPLY WITH THE 2017 NATIONAL ELECTRICAL CODE AS ADOPTED BY CITY OF TUCSON AND THE RULES AND REGULATION OF ANY UTILITY COMPANIES SERVING THE FACILITY OR THE PROPERTY. WHERE THE CONTRACT DOCUMENTS EXCEED THESE REQUIREMENTS, THE CONTRACT DOCUMENTS SHALL GOVERN. IN NO CASE SHALL ANY WORK BE INSTALLED CONTRARY TO, OR BELOW MINIMUM LEGAL STANDARDS. ANY DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THESE CODES, RULES, REGULATIONS OR EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING AND THE START OF CONSTRUCTION.

ALL EQUIPMENT SHALL BE NEW, PURCHASED SPECIFICALLY FOR THIS PROJECT, BE UL LISTED FOR THE ENVIRONMENT IN WHICH INSTALLED. ALL ELECTRICAL EQUIPMENT, FUSES, ETC., WITHIN THE SAME CATEGORY SHALL BE OF THE SAME MANUFACTURER.

THE ELECTRICAL DRAWINGS ARE TO BE CONSIDERED DIAGRAMMATIC IN NATURE AND DO NOT NECESSARILY INDICATE ALL REQUIRED ITEMS. THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL NECESSARY PARTS, MATERIALS, DEVICES AND LABOR TO PROVIDE COMPLETE OPERATING SYSTEMS AT NO ADDITIONAL COST TO THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD DIMENSIONS PRIOR TO ORDERING EQUIPMENT AND THE COORDINATION OF THE ELECTRIC WORK WITH ALL OTHER TRADES AND/OR EQUIPMENT INSTALLERS AND SUPPLIERS AT THE PROJECT OR THE PROJECT SITE.

THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, CIRCUITS, WIRING ETC. PRIOR TO THE START OF CONSTRUCTION. SHOULD ANY DISCREPANCY ARISE BETWEEN THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION OR ANY WORK ON THE ITEM IN QUESTION.

ALL WIRING SHALL BE COPPER, THHN/THWN, IN CONDUIT UNLESS NOTED OTHERWISE. UL LISTED MC CABLE MAY BE USED AS AN ALTERNATE WIRING METHOD AS ALLOWED BY THE NEC.

ALL CIRCUITS SHALL BE THREE #12 (HOT, NEUTRAL, GROUND) IN 1/2 INCH CONDUIT UNLESS NOTED OTHERWISE.

ALL SWITCHES SHALL BE RATED 120 VOLTS, 20 AMPS AND INSTALLED AT 44 INCHES ABOVE THE FINISHED FLOOR TO THE BOTTOM TO THE BOX UNLESS NOTED OTHERWISE. COLOR TO MATCH EXISTING.

THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL DEVICES, FIXTURES, ETC. WITH THE ARCHITECTURAL DRAWINGS, AND ALL OTHER TRADES PRIOR TO ROUGH-IN.

COMcheck Software Version COMcheckWeb
Interior Lighting Compliance Certificate

Project Information
Energy Code: 2018 IECC
Project Title: Community Foundation
Project Type: New Construction
Construction Site: Owner/Agent: Designer/Contractor:

Additional Efficiency Package(s)
Reduced interior lighting power. Requirements are implicitly enforced within interior lighting allowance calculations.

A Area Category	B Floor Area (ft2)	C Allowed Watts / ft2	D Allowed Watts
1-Common Space Types:Office - Open Plan	952	0.73	695
			Total Allowed Watts = 695

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Fixture Watt.	E
1-Common Space Types:Office - Open Plan LED 2x4; A/AE: 2x4 Troffer: Other:	1	12	29	348
			Total Proposed Watts =	348

Interior Lighting PASSES: Design 50% better than code

Interior Lighting Compliance Statement
Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.
Larry J. Click Architect Signature Date 1/19/21

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LARRY J. CLICK & ASSOCIATES ARCHITECTS
6601 E. GRAN ROAD, SUITE # 120
TUCSON, ARIZONA 85715
(520) 527-6670
larry@lclick.com

2020.16
JANUARY 19, 2021
BIDDING DOCUMENTS
LARRY J. CLICK
ARCHITECTS
ARIZONA PROFESSIONAL ARCHITECT
No. 12345

E2.1

Exhibit B (Project Timeline)

						JANUARY
27	28	29	30	31	1 New Year's Day	2
3	4	5	6	7	8	9
10	11	12	13	14	15 Architect Specifications Due	16
17	18	19 Contractor Pre-Bid Meeting	20 Contractor RFP Posted	21	22	23
24	25	26	27	28	29	30
						FEBRUARY
31	1	2	3 Contractor RFP Submissions Due	4	5	6
7	8	9	10 Contractor Selection Made	11	12	13
14	15 Construction begins	16	17	18	19	20
21	22	23	24	25	26	27
						MARCH
28	1	2	3	4	5	6